

SEAL:

MODEL:
B60 LOUISA

ORIGINAL ISSUE DATE: 04/20/2017

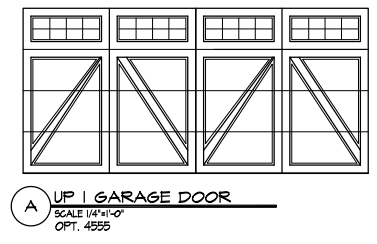
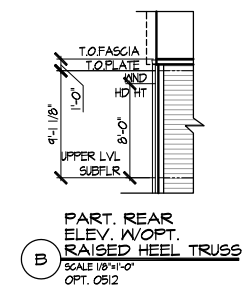
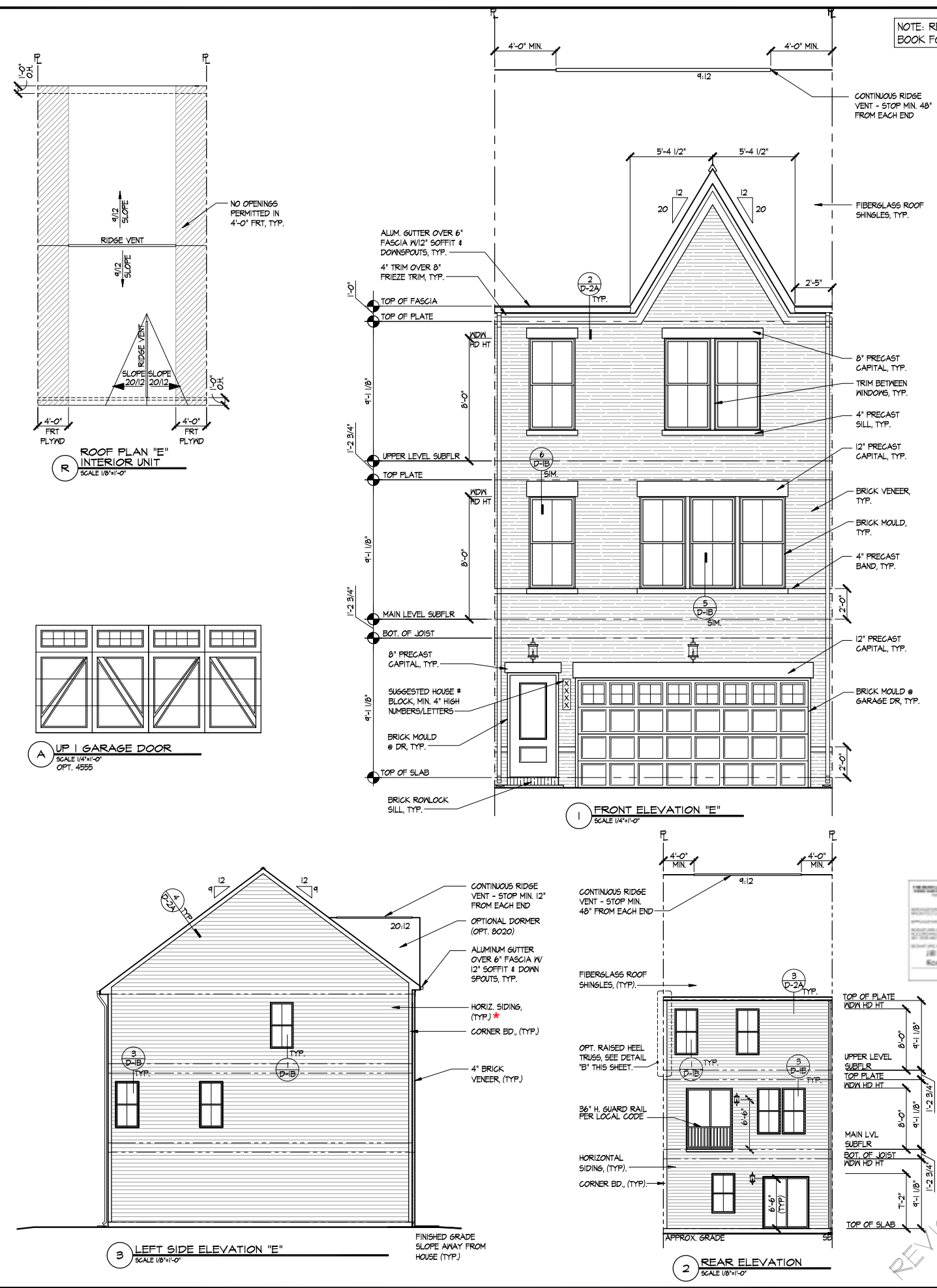
REVISION(S):
 01/11/18
 06/06/18
 11/13/2018
 12/27/2018

DRAWING DESCRIPTION:
ELEVATION 'E' & ROOF PLANS

SHEET #
A-4E

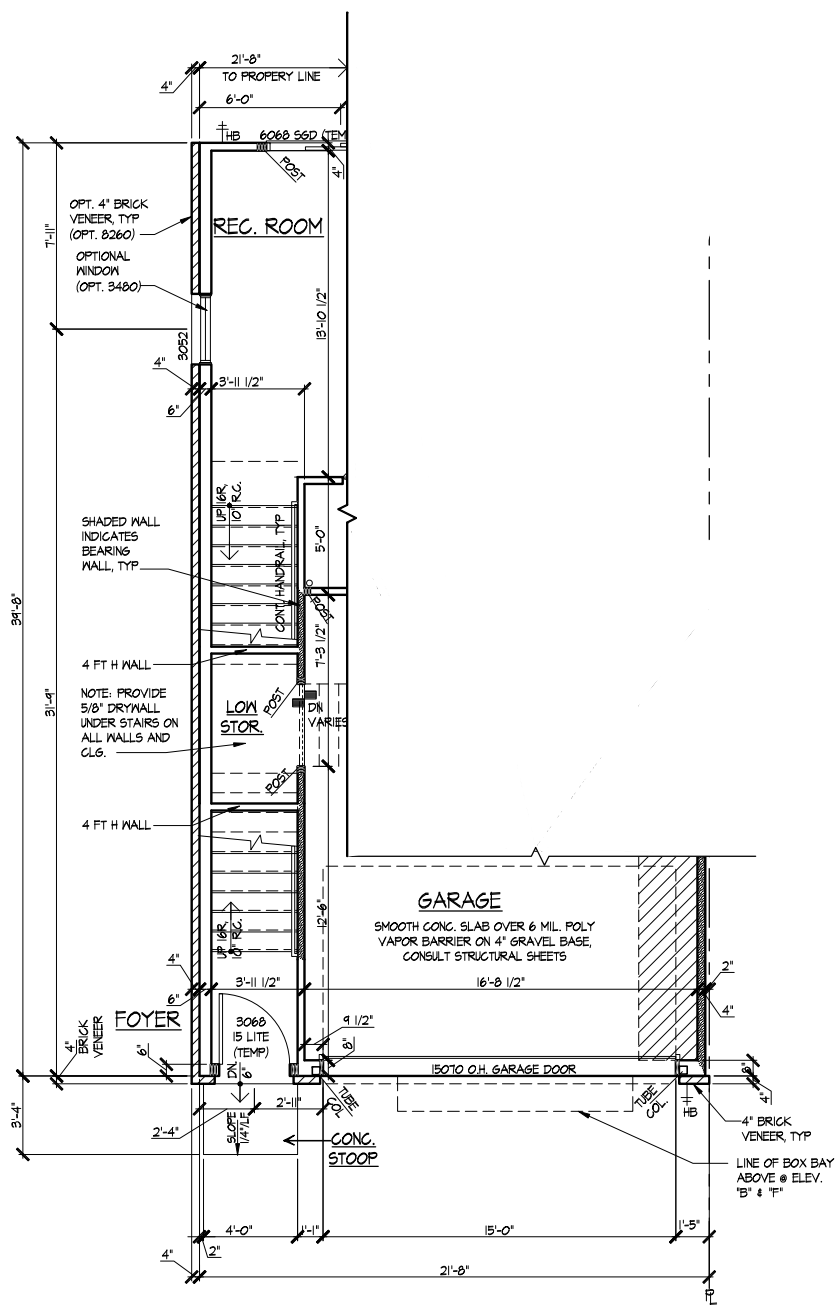
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NOTE: REFER TO PRODUCT BOOK FOR EXTERIOR TRIM

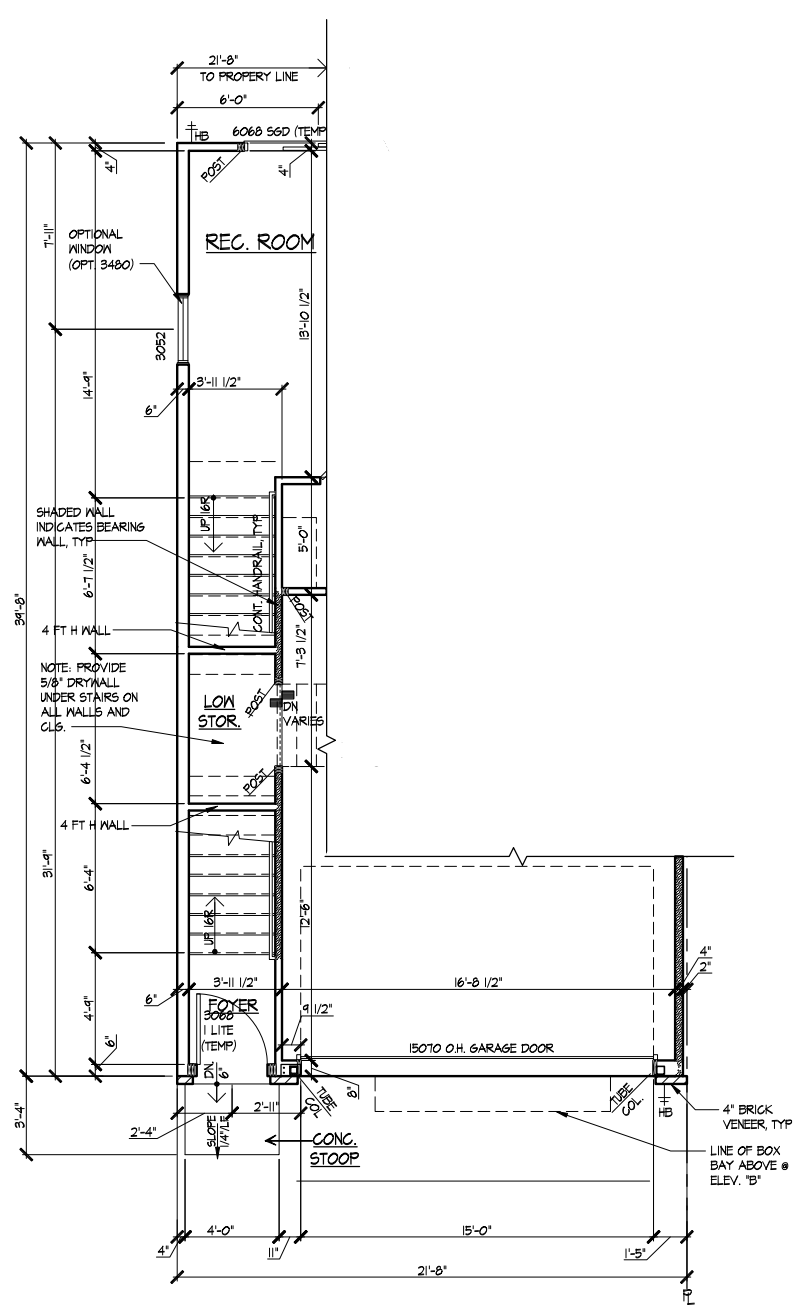


* Brick will be used instead of siding for all highly visible side elevations located on "Gateway Lots" as previously determined by the City of Hyattsville.

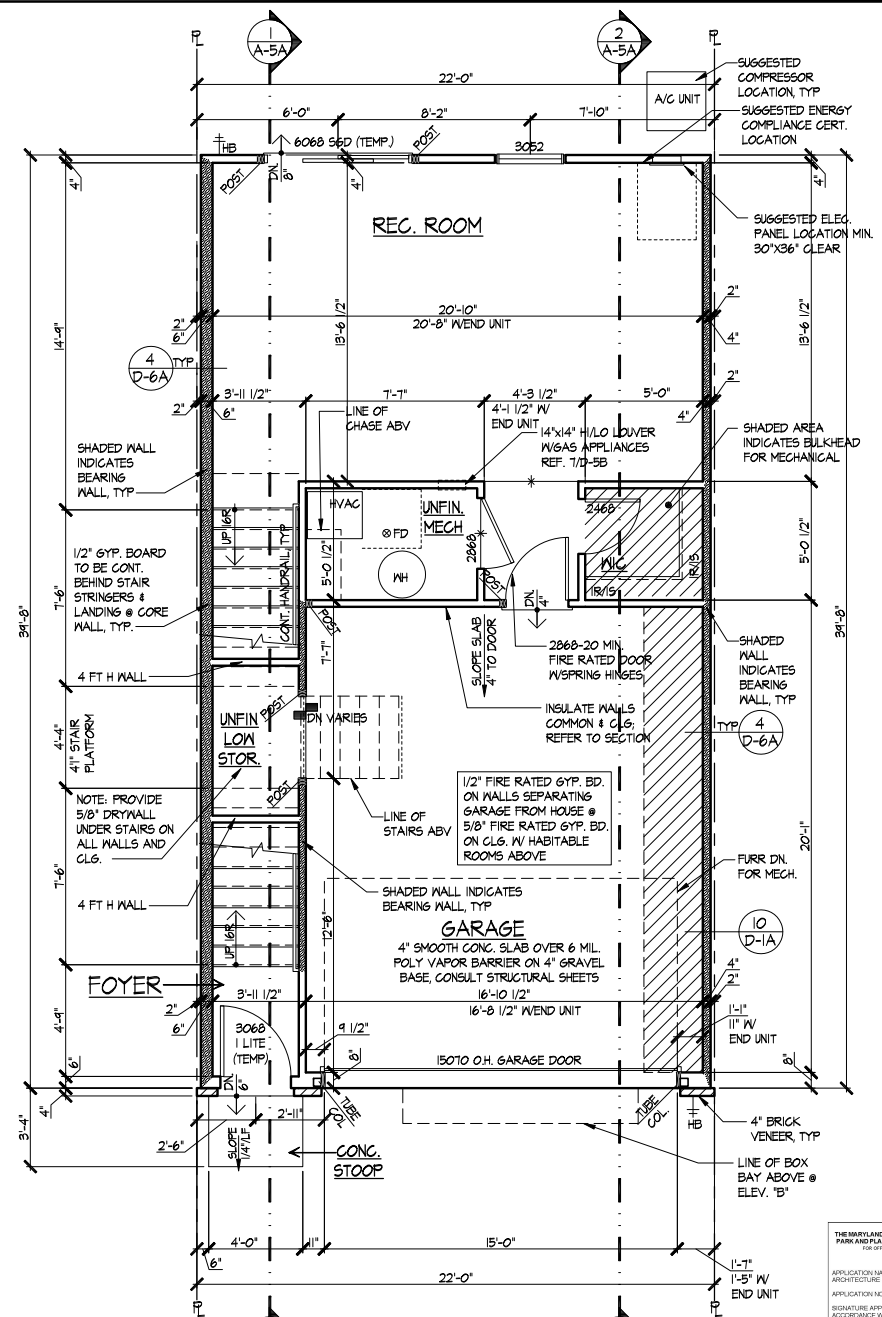
REVISION SET
 12/27/18



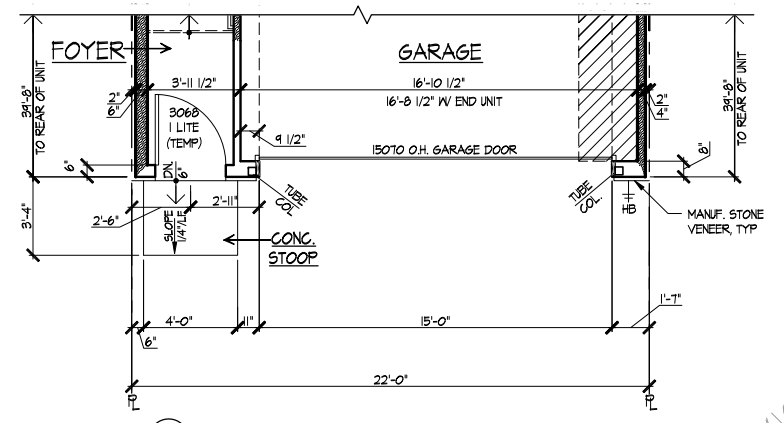
4 PART. LOWER LEVEL PLAN WEND UNIT & W/OPT. WATERTABLE
SCALE 1/4"=1'-0"
OPT. 1900 & 8260 SHOWN W/ ELEV. "A"



3 PART. LOWER LEVEL PLAN WEND UNIT
SCALE 1/4"=1'-0"
OPT. 1900 SHOWN W/ ELEV. "A"



1 LOWER LEVEL PLAN ELEV. "A", "B", "E", "F", "G", "H", "J", "K" & "L"
SCALE 1/4"=1'-0"



2 PART. LOWER LEVEL PLAN "C" & "D"
SCALE 1/4"=1'-0"

GENERAL NOTES:
1. WINDOW PANELS LARGER THAN 9 SQUARE FEET AND 18" OR LESS ABOVE FINISHED FLOOR (I.E. BOTTOM SASH) SHALL BE TEMPERED.
2. WINDOW SILLS OF OPERABLE UNITS TO BE A MIN. OF 24" FROM THE FINISHED FLOOR.
3. AVOID PLACING PLUMBING WASTE STACKS 12"-16" FROM BACK OF CLOSET FOR SHELF CONNECTION

THE VIRGINIA NATIONAL CAPITAL PARK AND PLANNING COMMISSION
ARCHITECTURE
APPLICATION NO. DSP-19020
SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH HYDRO RESOLUTION NO. 303-06 DATED MAY 26, 2005
Digitally signed by Jill Kosack Date: 2020.09.10 10:44:49 AM
Approved Building

STANLEY MARTIN HOMES
11710 PLAZA AMERICA DRIVE, SUITE 1100, RESTON, VA 20190
PHONE: (703) 964-5000 FAX: (703) 715-8076

SEAL:

MODEL: B60 LOUISA

ORIGINAL ISSUE DATE: 04/20/2017

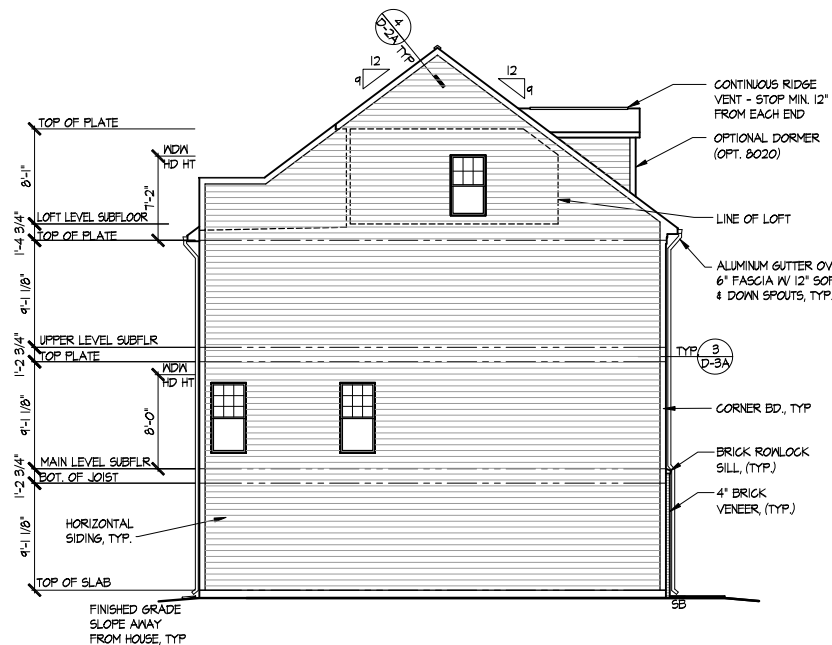
REVISION(S):
01/11/18
06/06/18
11/13/2018
12/27/2018

DRAWING DESCRIPTION: LOWER LEVEL PLANS

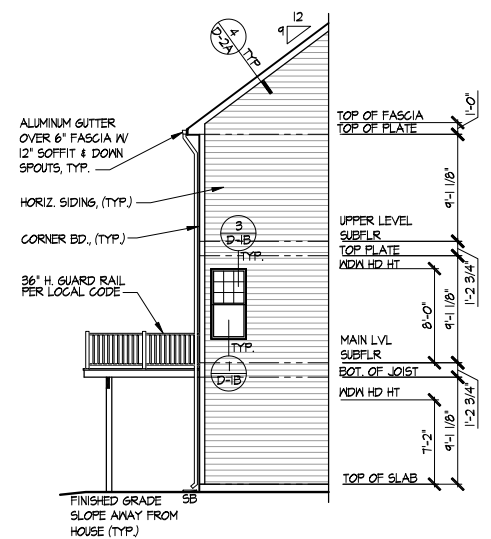
SHEET #: A-1A

REVISION SET 12/27/18

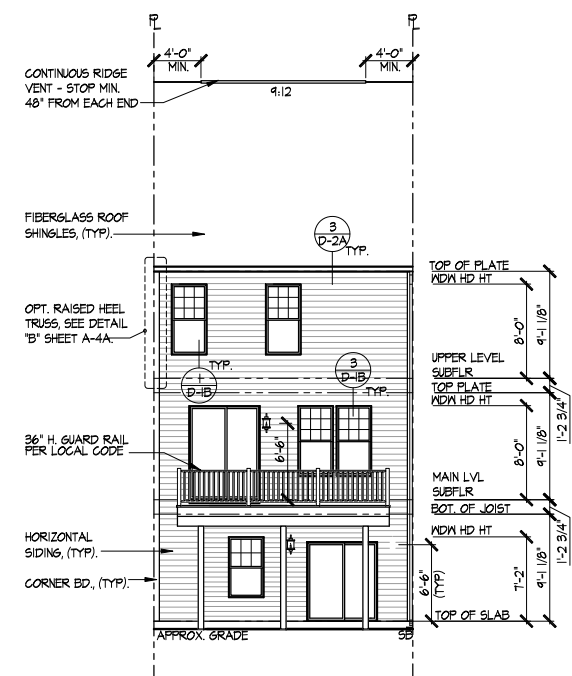
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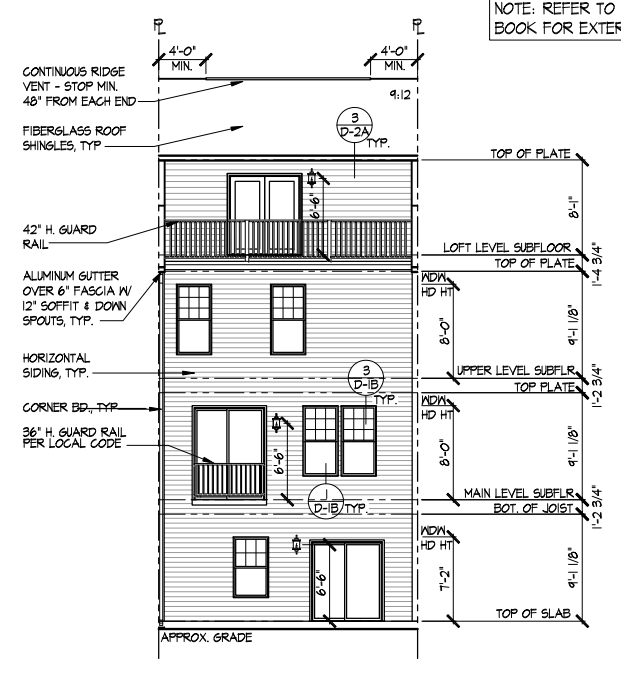
1 LEFT SIDE ELEVATION WITH LOFT / BEDROOM 4 & TERRACE
SCALE 1/8"=1'-0"
OPT. 1400, 4824 OR 4203
SHOWN W/ELEV. "A"



2 LEFT SIDE ELEVATION W/OPT. DECK I
SCALE 1/8"=1'-0"
OPT. 8121
SHOWN W/ELEV. "A"

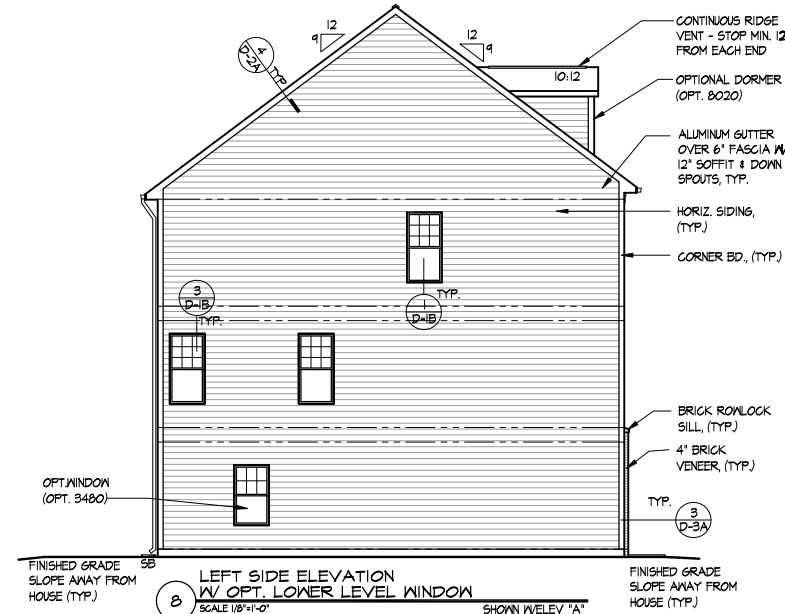


3 REAR ELEVATION W/OPT. DECK I
SCALE 1/8"=1'-0"
OPT. 8121
SHOWN W/ELEV. "A"

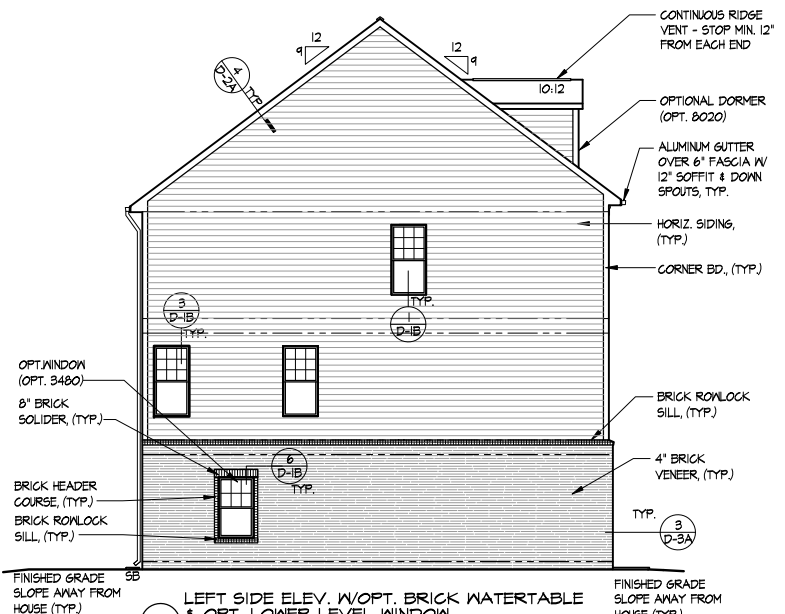


4 REAR ELEVATION WITH LOFT / BEDROOM 4 & TERRACE
SCALE 1/8"=1'-0"
OPT. 4824 OR 4203
SHOWN W/ELEV. "A"

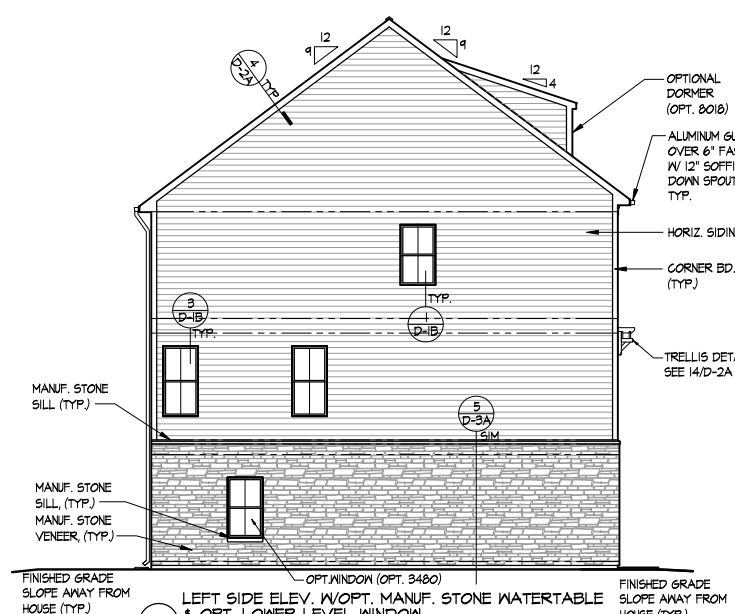
NOTE: REFER TO PRODUCT BOOK FOR EXTERIOR TRIM



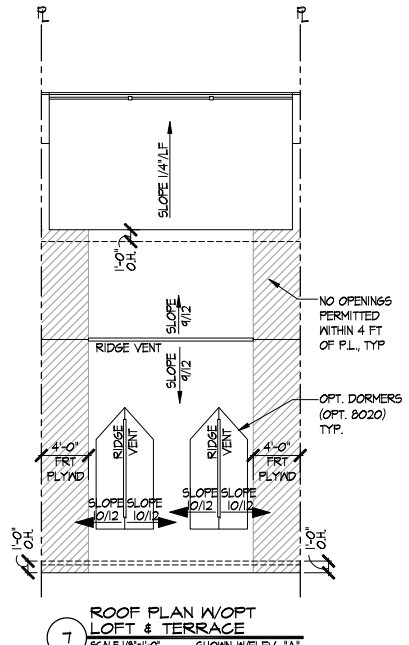
5 LEFT SIDE ELEVATION W/OPT. LOWER LEVEL WINDOW
SCALE 1/8"=1'-0"
OPT. 1400 / 3480
SHOWN W/ELEV. "A"



6 LEFT SIDE ELEV. W/OPT. BRICK WATERTABLE & OPT. LOWER LEVEL WINDOW
SCALE 1/8"=1'-0"
OPT. 1400 / 8260 / 3480
SHOWN W/ELEV. "A" (ELEV. 'C', 'E' & 'F' SIM)



7 LEFT SIDE ELEV. W/OPT. MANUF. STONE WATERTABLE & OPT. LOWER LEVEL WINDOW
SCALE 1/8"=1'-0"
OPT. 1400 / 8261 / 3480
SHOWN W/ELEV. "D" (ELEV. 'C' SIM)



8 ROOF PLAN W/OPT LOFT & TERRACE
SCALE 1/8"=1'-0"
OPT. 4824
SHOWN W/ELEV. "A"

STANLEY MARTIN HOMES
11710 PLAZA AMERICA DRIVE, SUITE 1100, RESTON, VA 20190
PHONE: (703) 464-5000 FAX: (703) 715-8076

SEAL:

MODEL: B60 LOUISA

ORIGINAL ISSUE DATE: 04/20/2017

REVISION(S):
01/11/18
06/06/18
11/13/2018
12/27/2018

DRAWING DESCRIPTION:
ELEVATION OPTIONS

SHEET #
0-4A

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
ARCHITECTURE
APPLICATION NO. DSH-19020
SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH HOUSE RESOLUTION NO. 2008-08 DATED MAY 28, 2008
SIGNATURE APPROVAL DATE: 12/27/18
Jill Kosack
12/27/18

REVISION SET
12/27/18

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SEAL:

MODEL: **B60 LOUISA**

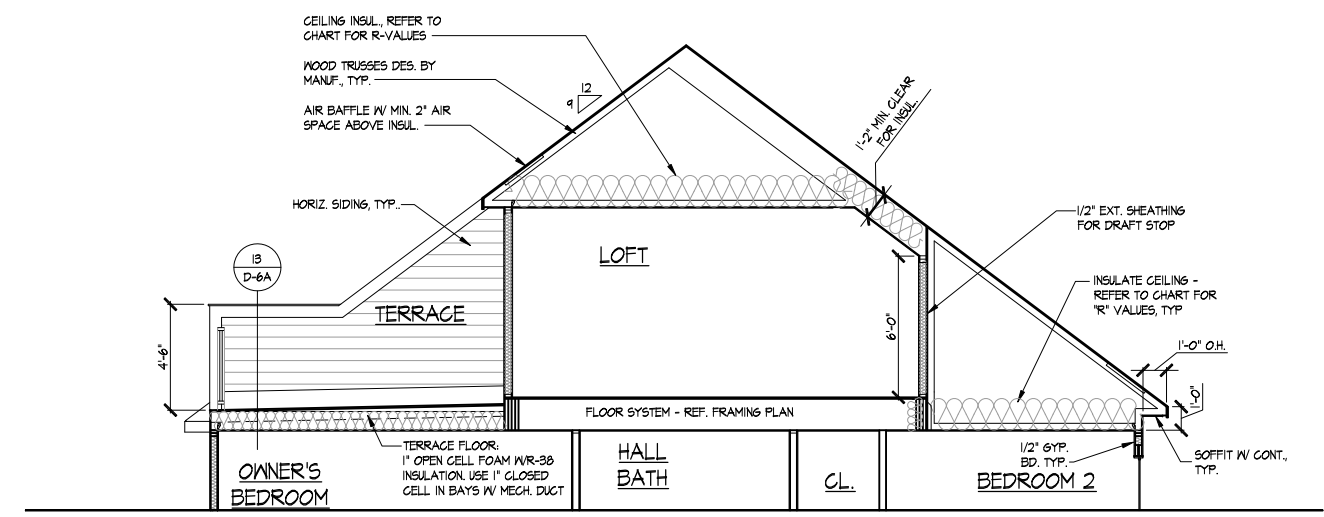
ORIGINAL ISSUE DATE: 04/20/2017

REVISION(S):
 01/11/18
 06/06/18
 11/13/2018
 12/27/2018

DRAWING DESCRIPTION:
 OPTIONAL BUILDING SECTIONS

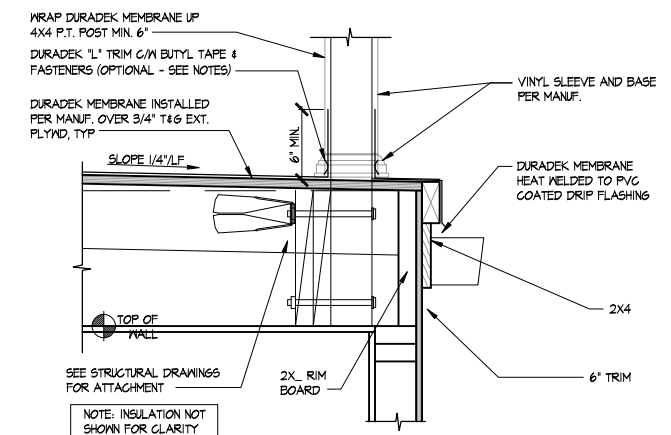
SHEET #
0-5A

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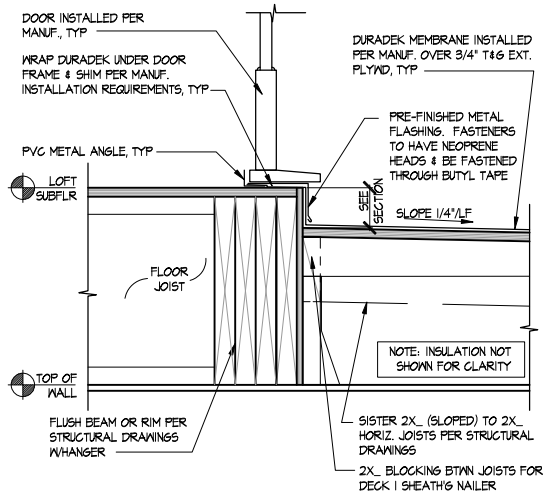


2 BUILDING SECTION
 SCALE 1/4"=1'-0"
 OPT. 9824 SHOWN W/ELEV. "A"

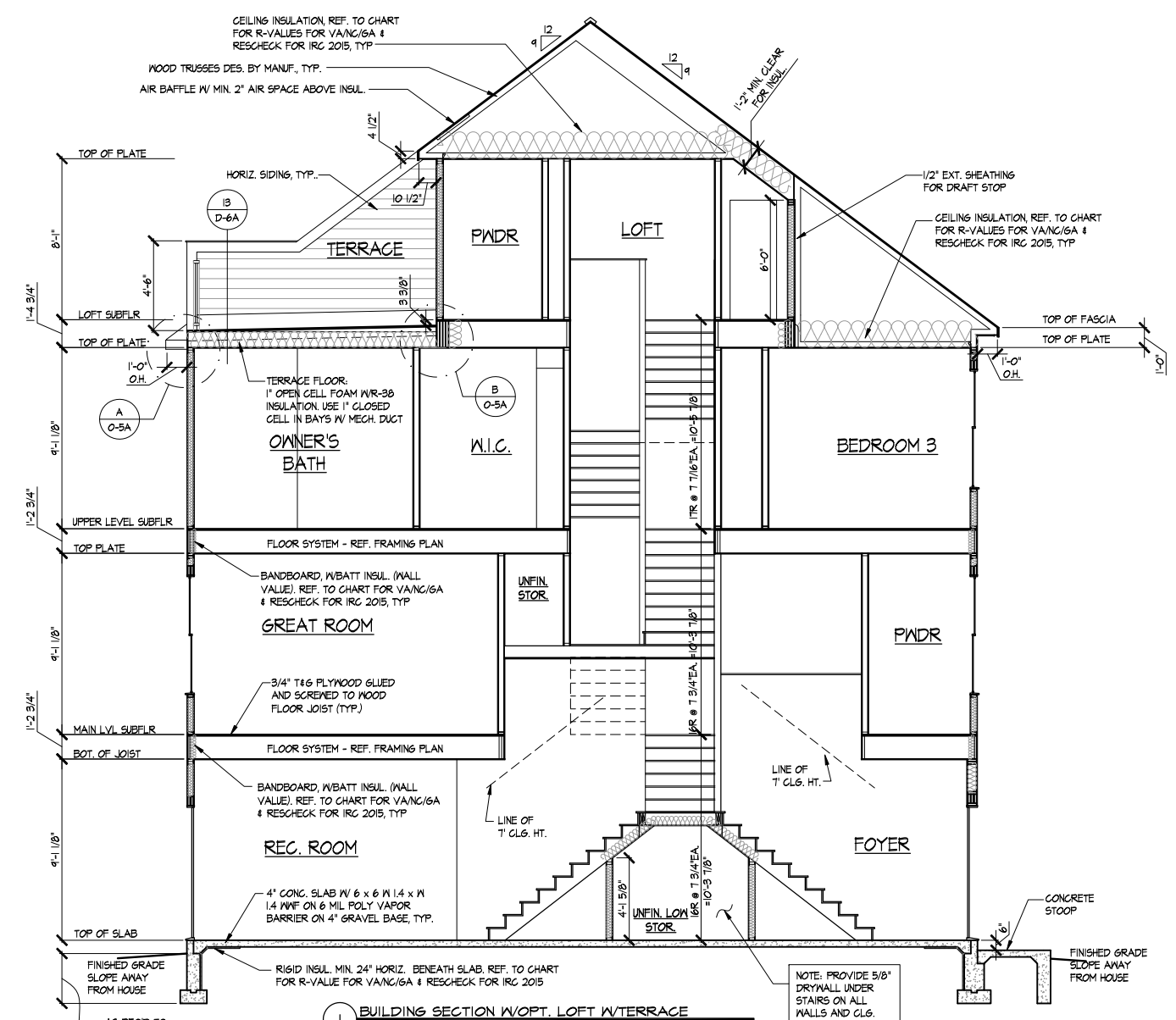
NOTES: DURADEK "L" TRIM FIXATION BAR NOT REQ'D IF FIELD MEMBRANE ADHERED WITH DURADEK ACRYLIC LATEX ADHESIVE. JULY 25% DRY BULB TEMPERATURE DOES NOT EXCEED 24 DEG C (84.2 DEG F), MAXIMUM BASIC WIND SPEED DOES NOT EXCEED 80 MPH (129 KM/H) OR MAXIMUM BASIC WIND SPEED (3 SECOND GUST) DOES NOT EXCEED 100 MPH (161 KM/H). SEE DURADEK BULLETIN FOR DETAILS.



A TERRACE DETAIL
 SCALE 1/2"=1'-0"



B TERRACE DETAIL
 SCALE 1/2"=1'-0"



1 BUILDING SECTION W/OPT. LOFT W/TERRACE
 SCALE 1/4"=1'-0"
 OPT. 9824 SHOWN W/ELEV. "A"

2018 NC58C-RC & 2015 IRC INSULATION & PENETRATION REQUIREMENTS BY COMPONENT CLIMATE ZONE 4:

- PENETRATION U-FACTOR: 0.35
- GLAZED PENETRATION SHGC: 0.40 (0.30 FOR NC)
- CEILING R-VALUE: 30
- WOOD FRAME WALL R-VALUE: 15
- FLOOR R-VALUE: 19
- BASEMENT WALL R-VALUE: 10-(CONTINUOUS INSUL.)
- BASEMENT WALL R-VALUE: 13 (IF FOR NC)-(CAVITY INSUL.)
- SLAB R-VALUE: 10, 2 FT
- CRAWL SPACE WALL R-VALUE: 10-(CONTINUOUS)
- CRAWL SPACE WALL R-VALUE: 13 (IF FOR NC)-(CAVITY INSUL.)

IRC 2015 REFERENCE TO RESCHECK FOR INSULATION VALUES

2009 INTERNATIONAL ENERGY CONSERVATION CODE WITH GA STATE SUPPLEMENTS & AMENDMENTS REQUIREMENTS BY CLIMATE ZONE 3

- PENETRATION U-FACTOR: 0.50
- GLAZED PENETRATION SHGC: 0.30
- CEILING R-VALUE: 30
- WOOD FRAME R-VALUE: 13
- FLOOR R-VALUE: 19
- BASEMENT WALL R-VALUE: 5 (CONTINUOUS INSUL.)
- BASEMENT WALL R-VALUE: 13 (CAVITY INSUL.)
- SLAB R-VALUE: 0.0 FT
- CRAWL SPACE WALL R-VALUE: 5 (CONTINUOUS INSUL.)
- CRAWL SPACE WALL R-VALUE: 12 (CAVITY INSUL.)

EXTERIOR MALL:
 SIDING OVER APPROVED HOUSE WRAP OVER 1/2" EXT. SHEATHING OVER 2x STUDS WBATT. INSULATION PER CHART, TYP.
 BRICK VENEER OVER 1" AIRSPACE OVER 15# FELT OVER APPROVED HOUSE WRAP OVERT 1/2" EXT. SHEATHING OVER 2x STUDS WBATT. INSULATION PER CHART, TYP.
 MANUFACTURED STONE VENEER INSTALLED PER MANUF. SPECS OVER APPROVED HOUSE WRAP OVERT 1/2" EXT. SHEATHING OVER 2x STUDS WBATT. INSULATION PER CHART, TYP.

ROOF:
 SLOPE > 4:12: FIBERGLASS SHINGLES, INSTALL PER MANUF. SPECS OVER 15# FELT OVER 1/2" CDX PLYWOOD W/CLIPS, TYP.
 SLOPE < 4:12: FIBERGLASS SHINGLES, INSTALL PER MANUF. SPECS OVER 2 LAYERS 15# FELT OVER 1/2" CDX PLYWOOD W/CLIPS, TYP.

SLOPE < 3:12: STANDING SEAM METAL ROOF, INSTALL PER MANUF. SPECS OVER 15# FELT OVER 1/2" CDX PLYWOOD W/CLIPS, TYP.

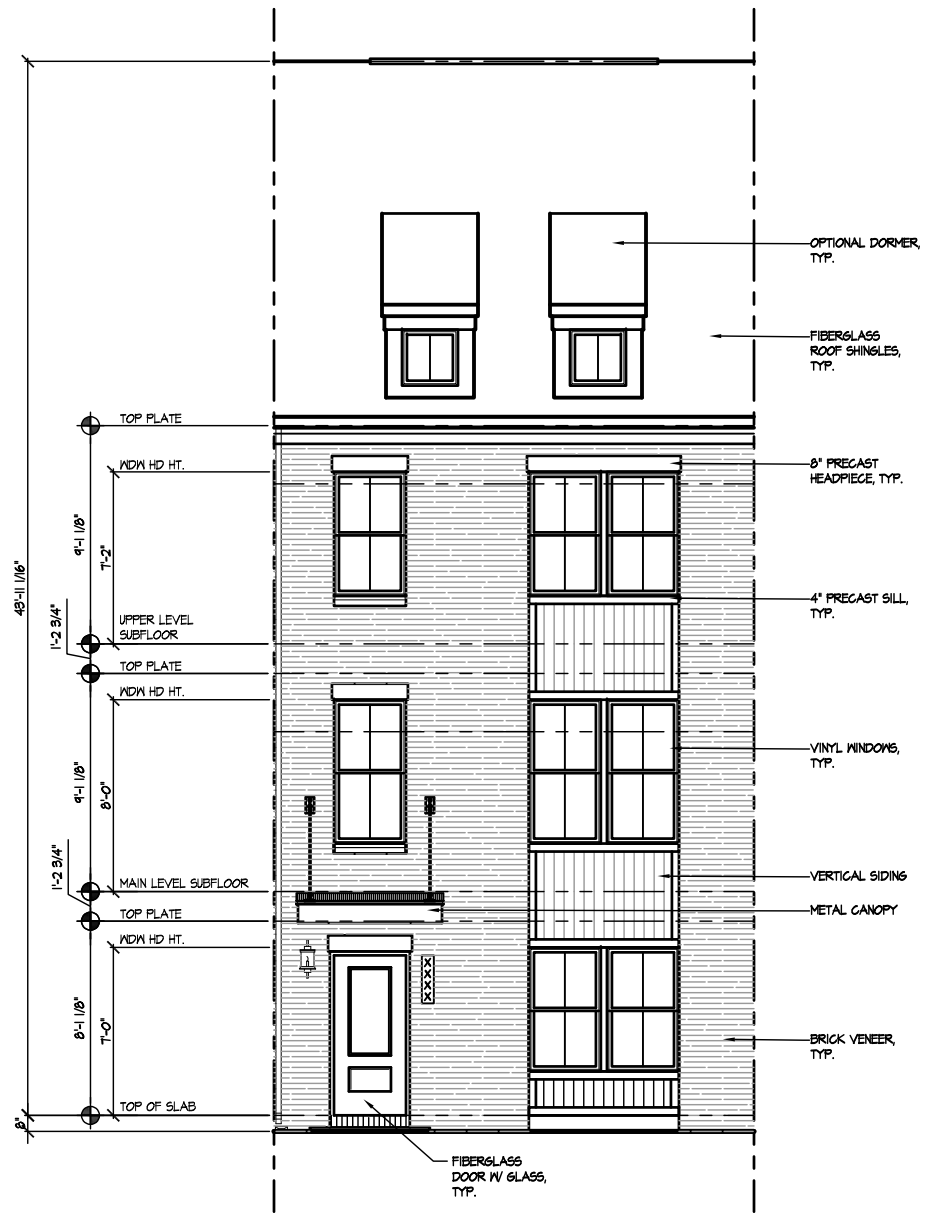
NOTE:
 • DUCTS TO BE SEALED



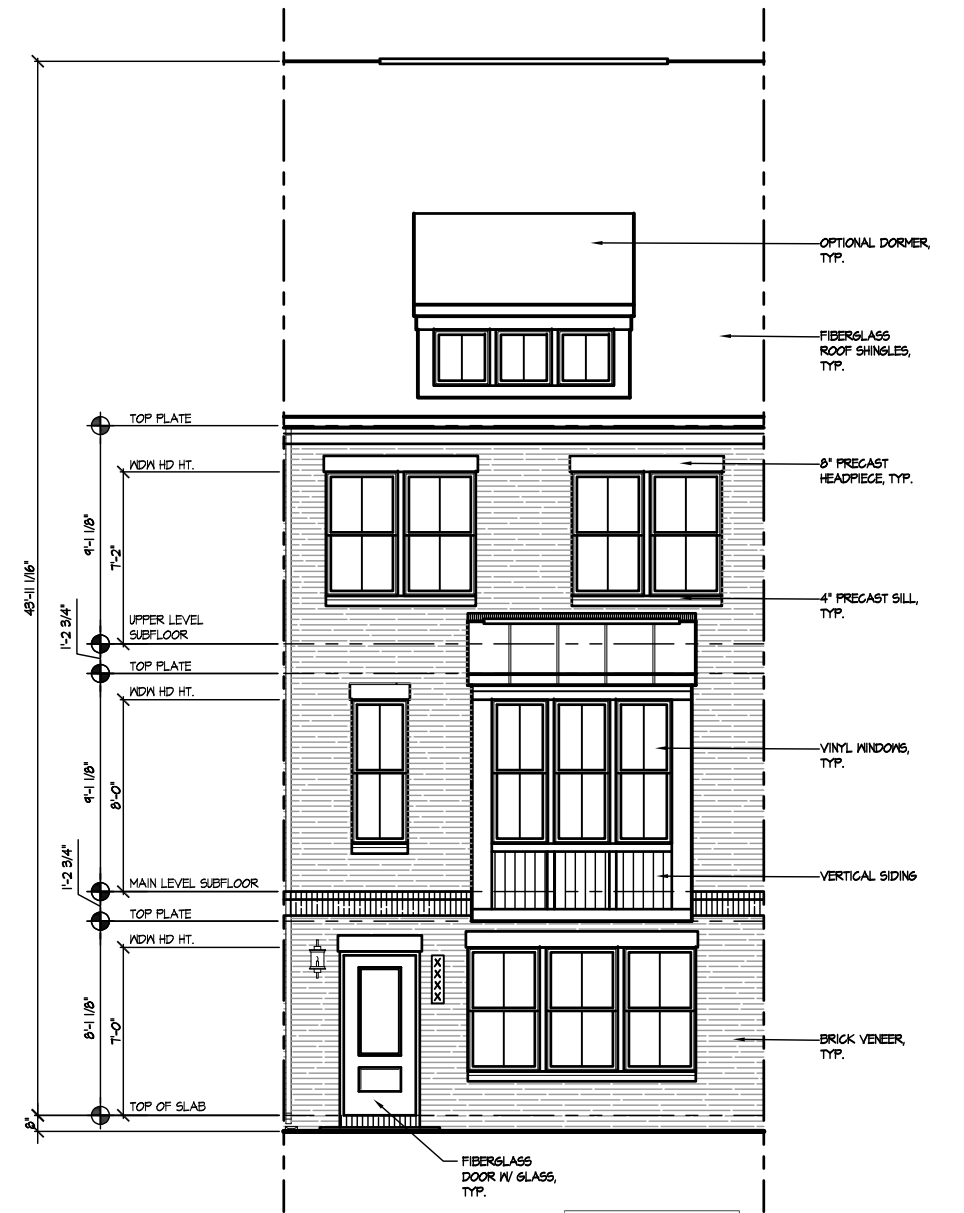
REVISION SET
 12/27/18



Elevation N



Elevation C



Elevation O

LAND-NATIONAL CAPITAL
PLANNING COMMISSION
OF PRINCE GEORGES

25 NAME: LANDY PROPERTY UMBRELLA
LURE

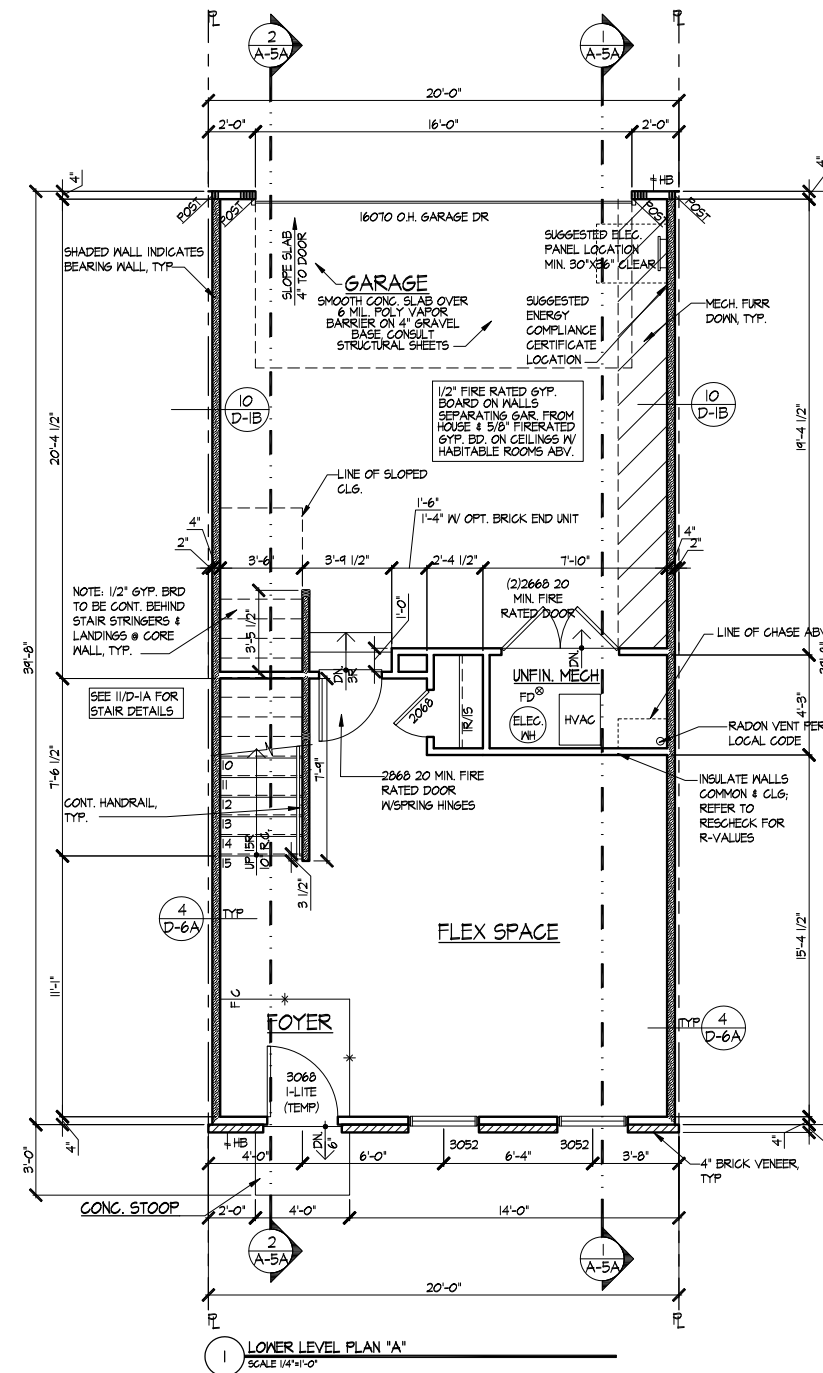
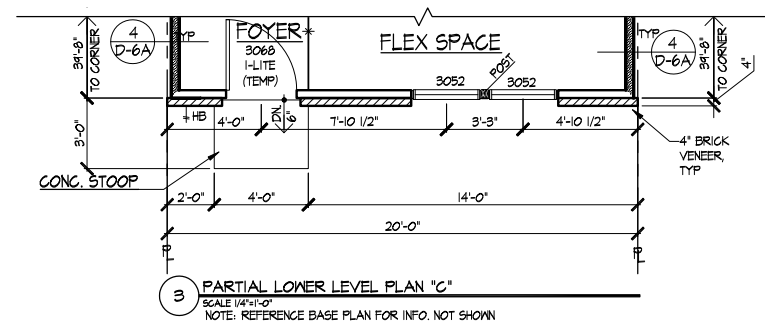
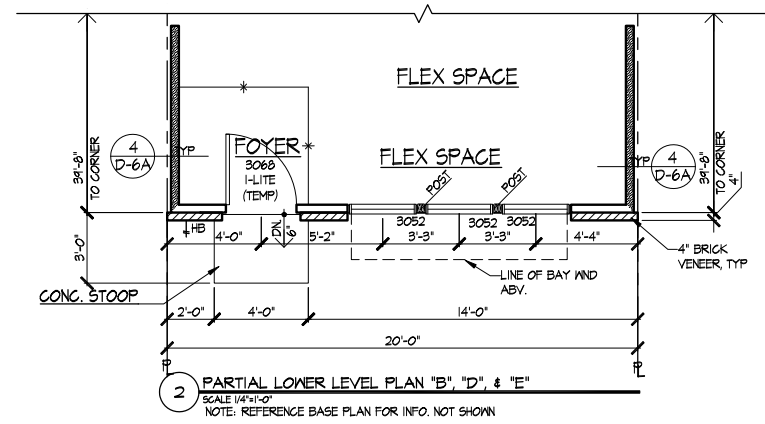
APPLICATION NO: DSP-19200

SIGNATURE APPROVAL OF THIS PLAN IS IN
ACCORDANCE WITH BY-LAW RESOLUTION
NO. 2020-68 DATED MAY 28, 2020

SIGNATURE APPROVAL DATE: _____

Digitally signed by
Jill Kosack Date: 2020.05.18
09:49:48 -0400

Authorized Signature



GENERAL NOTES:
 1. WINDOW PANELS LARGER THAN 9 SQUARE FEET AND 18" OR LESS ABOVE FINISHED FLOOR (I.E. BOTTOM SASH) SHALL BE TEMPERED.
 2. WINDOW SILLS OF OPERABLE UNITS TO BE A MIN. OF 24" FROM THE FINISHED FLOOR.
 3. AVOID PLACING PLUMBING WASTE STACKS 12"-16" FROM BACK OF CLOSET FOR SHELF CONNECTION

FINNACLE DESIGN & CONSULTING, INC.
 11150 FAIRFAX BLVD SUITE 402
 FAIRFAX, VA 22030
 703-218-5084

THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION
 FOR OFFICIAL USE ONLY

APPLICATION NAME: LADY PROPERTY UMBRELLA ARCHITECTURE
 APPLICATION NO.: DSP-19020
 SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH PROPOSED RESOLUTION NO. 2020-88 DATED MAY 28, 2020

SIGNATURE APPROVAL DATE: Digitally signed by Jill Kosack Date: 2020.09.10 09:05:47 -0400 AUTHORIZED SIGNATURE

STANLEY MARTIN HOMES
 11710 PLAZA AMERICA DRIVE, SUITE 1100, RESTON, VA 20190
 PHONE: (703) 964-5000 FAX: (703) 715-8076

SEAL:

MODEL: D05 JENKINS

ORIGINAL ISSUE DATE: 07/05/2018

REVISION(S):
 09/28/2018

DRAWING DESCRIPTION: LOWER LEVEL PLANS

SHEET # A-1A

REVISION SET
 09/28/18

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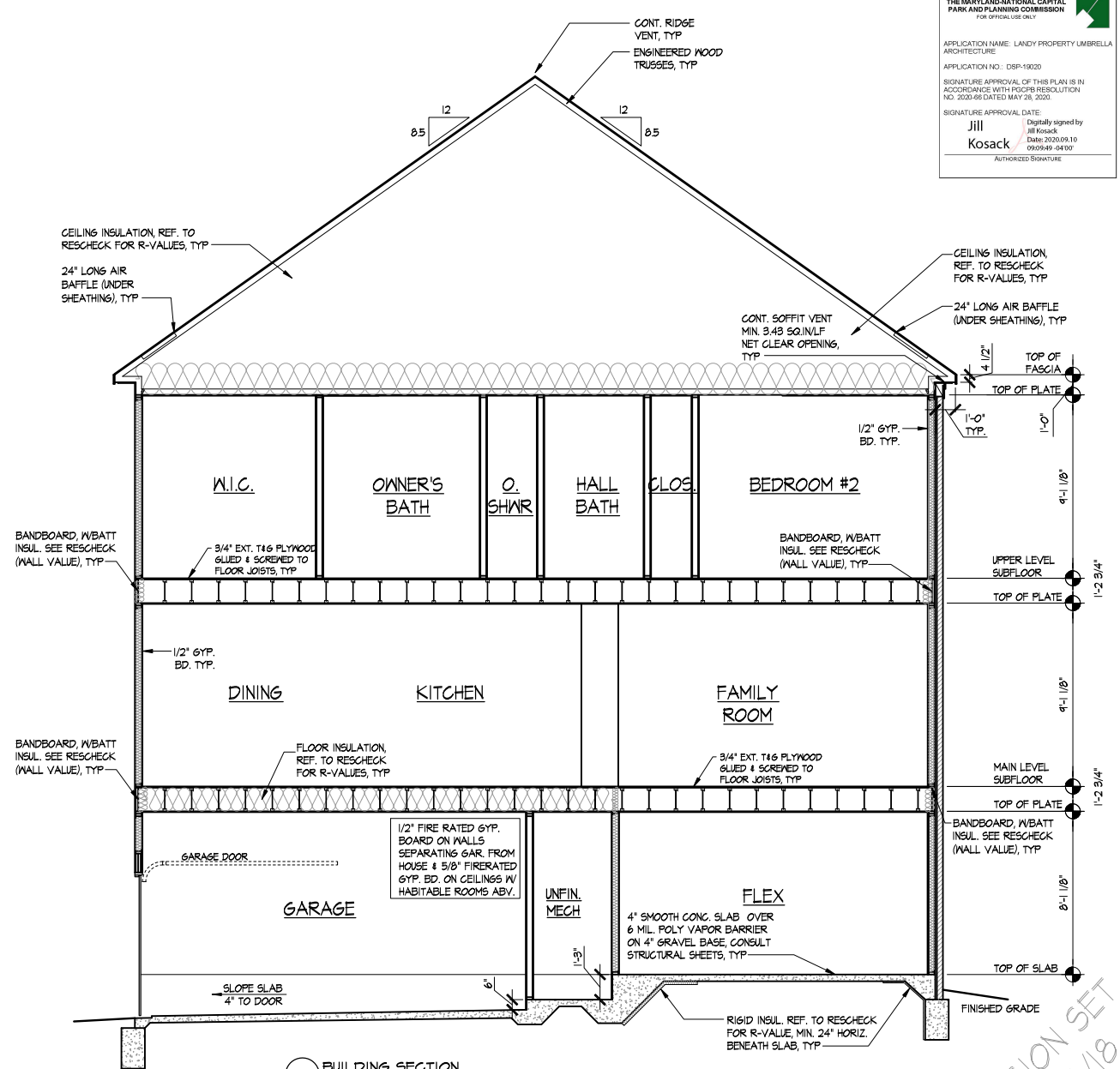
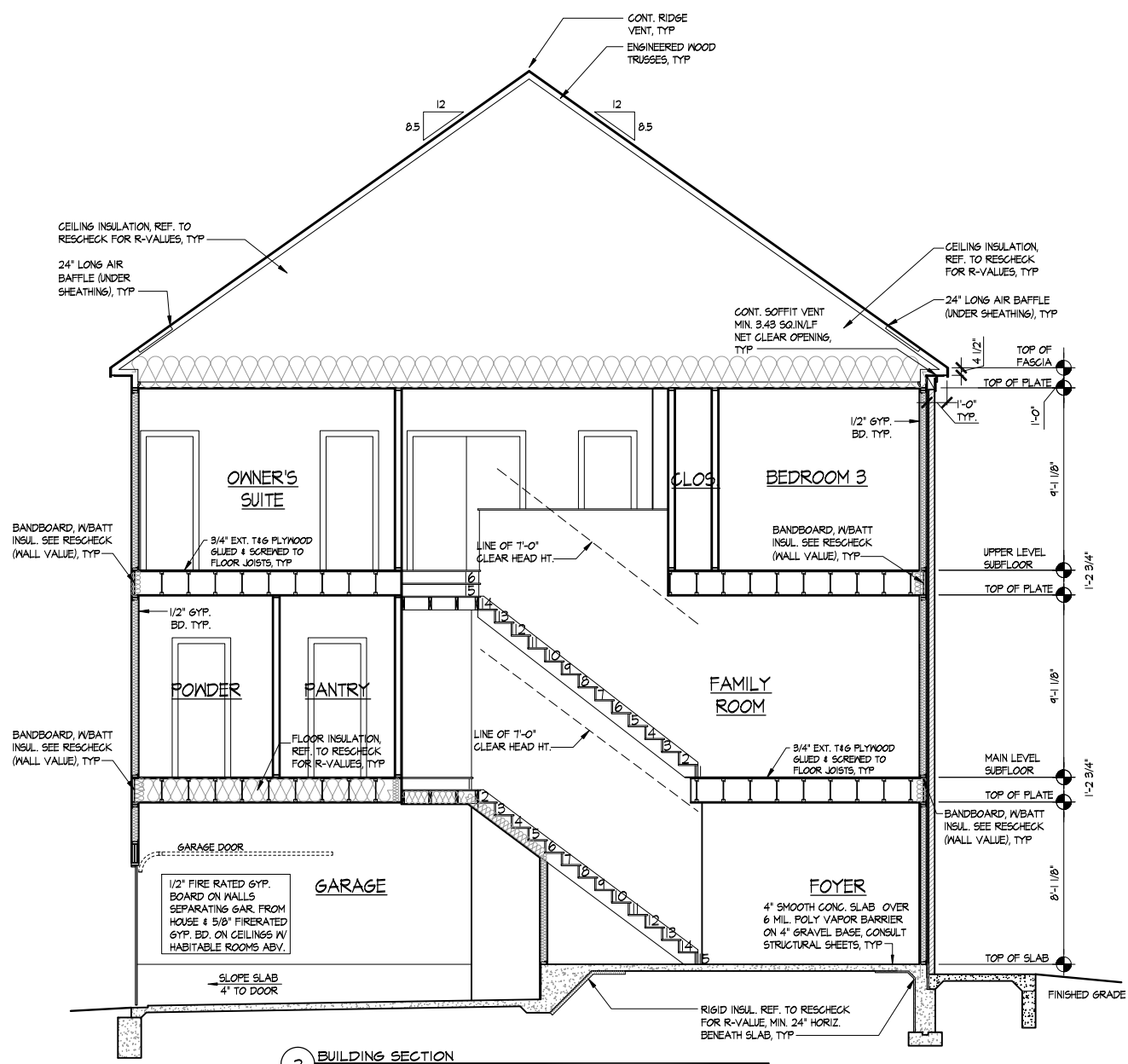
ROOF VENT CALCULATION:
 REQUIRED AREA TO VENT:
 20' WIDE X 41'-0" D (INCLUDES OH) = 833.3 SQ. FT
 $\frac{833.3 \text{ SQ.FT. X 144 (CONVERT TO SQ.IN)}}{600} = 199.99 \text{ SQ.IN.}$
 MIN. RIDGE VENT REQUIRED:
 199.99 SQ.IN. : 12 LF OF RIDGE = 17.1 SQ.IN./LF NET CLEAR OPENING
 MIN. SOFFIT VENT REQUIRED:
 104.66 SQ.IN. : 54 LF OF SOFFIT = 3.43 SQ.IN./LF NET CLEAR OPENING

EXTERIOR WALL:
 SIDING OVER APPROVED HOUSE WRAP OVER 1/2" EXT. SHEATHING OVER 2x... STUDS W/BATT. INSULATION PER RESCHECK, TYP.
 BRICK VENEER OVER 1" AIRSPACE OVER 1/2" FELT OVER APPROVED HOUSE WRAP OVER 1/2" EXT. SHEATHING OVER 2x... STUDS W/BATT. INSULATION PER RESCHECK, TYP.
 MANUFACTURED STONE VENEER INSTALLED PER MANUF. SPECS OVER APPROVED HOUSE WRAP OVER 1/2" EXT. SHEATHING OVER 2x... STUDS W/BATT. INSULATION PER RESCHECK, TYP.

ROOF:
 4:12 > SLOPE:
 FIBERGLASS SHINGLES, INSTALL PER MANUF. SPECS OVER 1/2" FELT OVER 1/2" CDX PLYWOOD W/CLIPS, TYP.
 > 4:12 SLOPE:
 FIBERGLASS SHINGLES, INSTALL PER MANUF. SPECS OVER 2 LAYERS 1/2" FELT OVER 1/2" CDX PLYWOOD W/CLIPS, TYP.
 3:12 > SLOPE:
 STANDING SEAM METAL ROOF, INSTALL PER MANUF. SPECS OVER 1/2" FELT OVER 1/2" CDX PLYWOOD W/CLIPS, TYP.

PINNACLE DESIGN & CONSULTING, INC.
 1180 PARKWAY BLVD SUITE 402
 PARKWAY, VA 22090
 (703) 218-5061

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
 FOR OFFICIAL USE ONLY
 APPLICATION NAME: LANDY PROPERTY UMBRELLA ARCHITECTURE
 APPLICATION NO.: DSP-19020
 SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH FCPR RESOLUTION NO. 2020-66 DATED MAY 28, 2020.
 SIGNATURE APPROVAL DATE:
 Digitally signed by
 Jill Kosack
 Date: 2020.09.19 09:09:48 -0400
 AUTHORIZED SIGNATURE



STANLEY MARTIN HOMES
 11710 PLAZA AMERICA DRIVE, SUITE 1100, RESTON, VA 20190
 PHONE: (703) 464-5000 FAX: (703) 715-8076

SEAL:

MODEL:
 DOS JENKINS

ORIGINAL ISSUE DATE: 01/05/2018

REVISION(S):
 09/28/2018

DRAWING DESCRIPTION:
 BUILDING SECTIONS

SHEET #
 A-5A

REVISION SET
 09/28/18

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GENERAL NOTES:
 1. WINDOW PANELS LARGER THAN 4 SQUARE FEET AND 18" OR LESS ABOVE FINISHED FLOOR (I.E. BOTTOM SASH) SHALL BE TEMPERED.
 2. WINDOW SILLS OF OPERABLE UNITS TO BE A MIN. OF 24" FROM THE FINISHED FLOOR.
 3. AVOID PLACING PLUMBING WASTE STACKS 12"-16" FROM BACK OF CLOSET FOR SHELF CONNECTION.

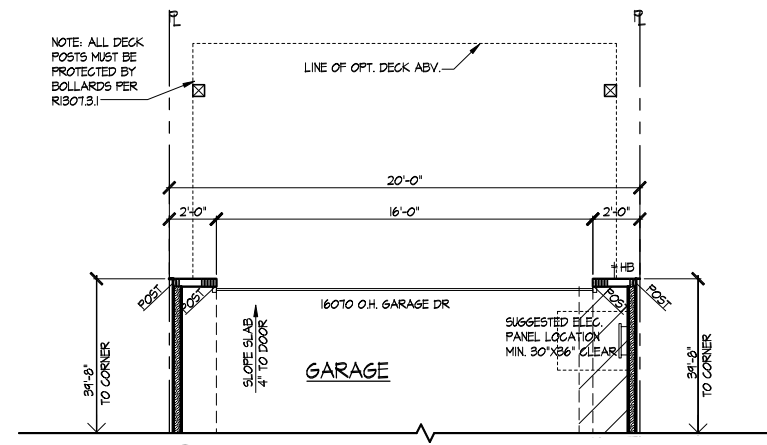
THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION
 FOR OFFICIAL USE ONLY

APPLICATION NAME: LANDY PROPERTY UMBRELLA ARCHITECTURE
 APPLICATION NO.: DSP-19020
 SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH PCOFR RESOLUTION NO. 2008-08 DATED MAY 28, 2008.

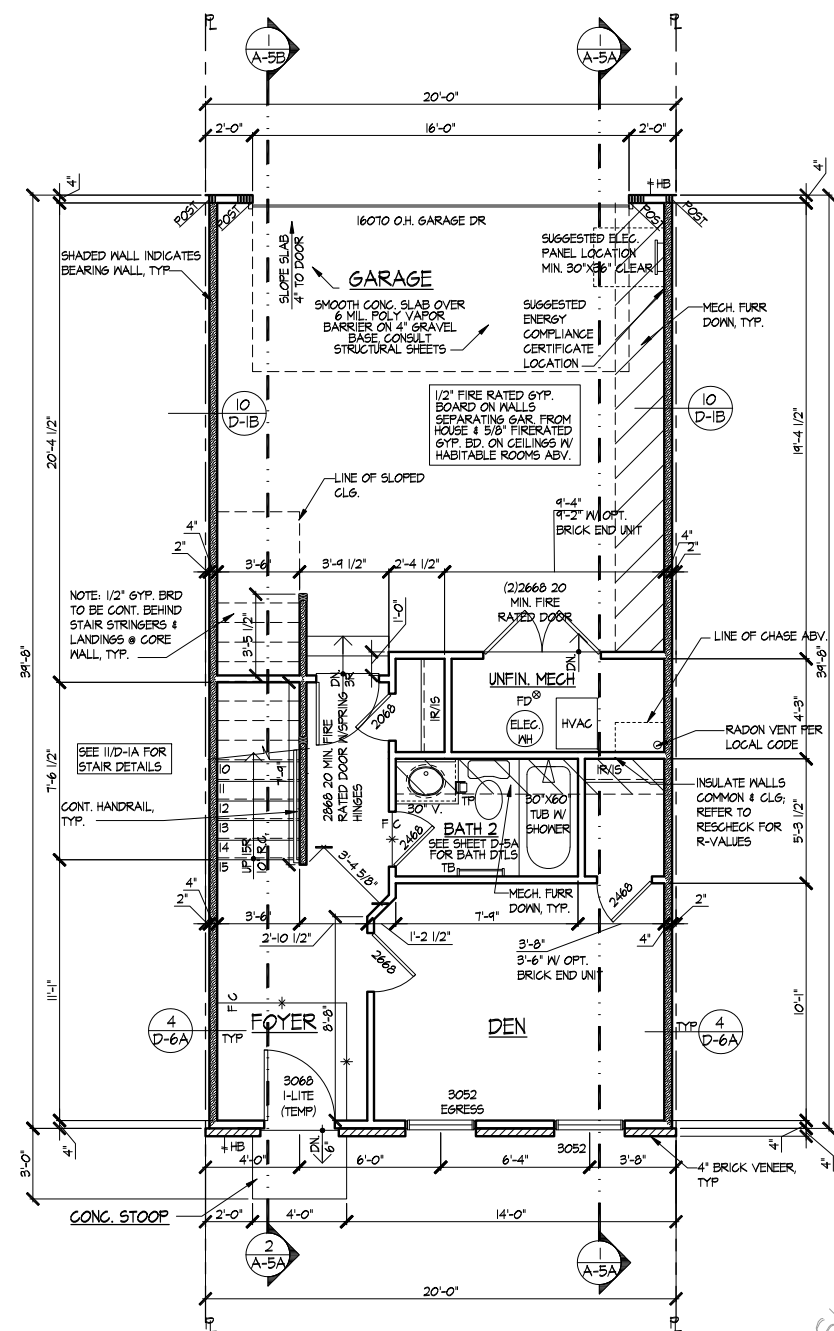
SIGNATURE APPROVAL DATE:
 Digitally signed by
 Jill Kosack
 Date: 2020.09.10 09:05:49 -0400
 Authorized Signature

PINNACLE DESIGN & CONSULTING, INC.
 1150 FAIRFAX BLVD SUITE 402
 FAIRFAX, VA 22030
 703-218-5084

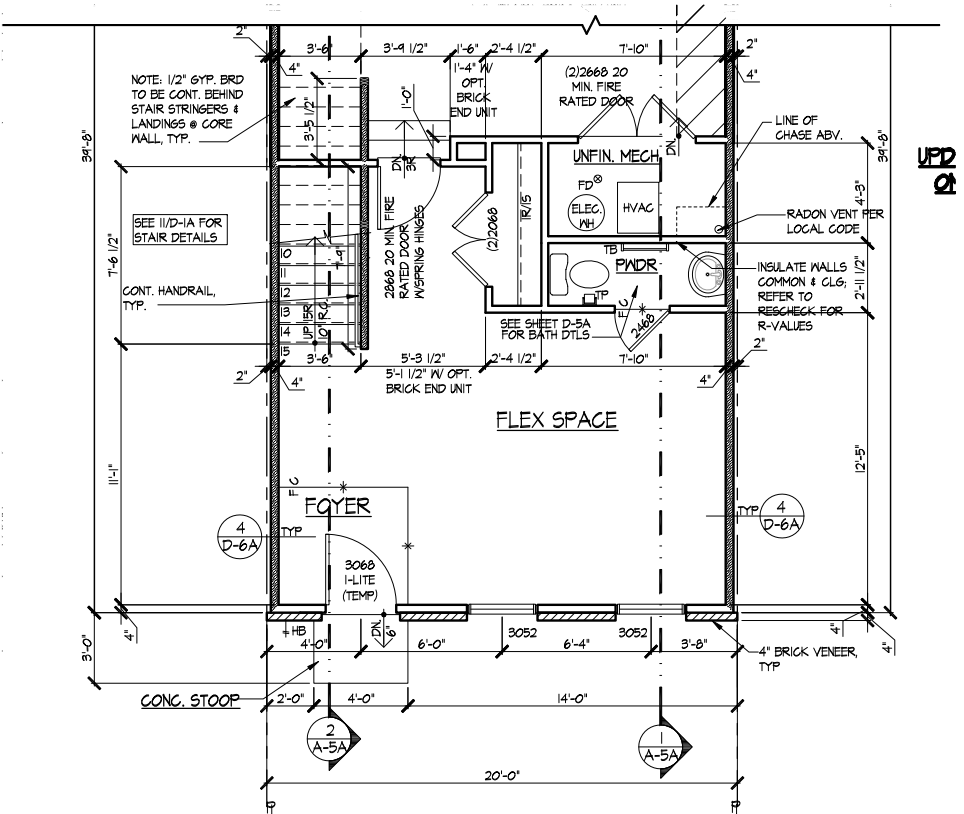
STANLEY MARTIN HOMES
 11710 PLAZA AMERICA DRIVE, SUITE 1100, RESTON, VA 20190
 PHONE: (703) 464-5000 FAX: (703) 715-8076



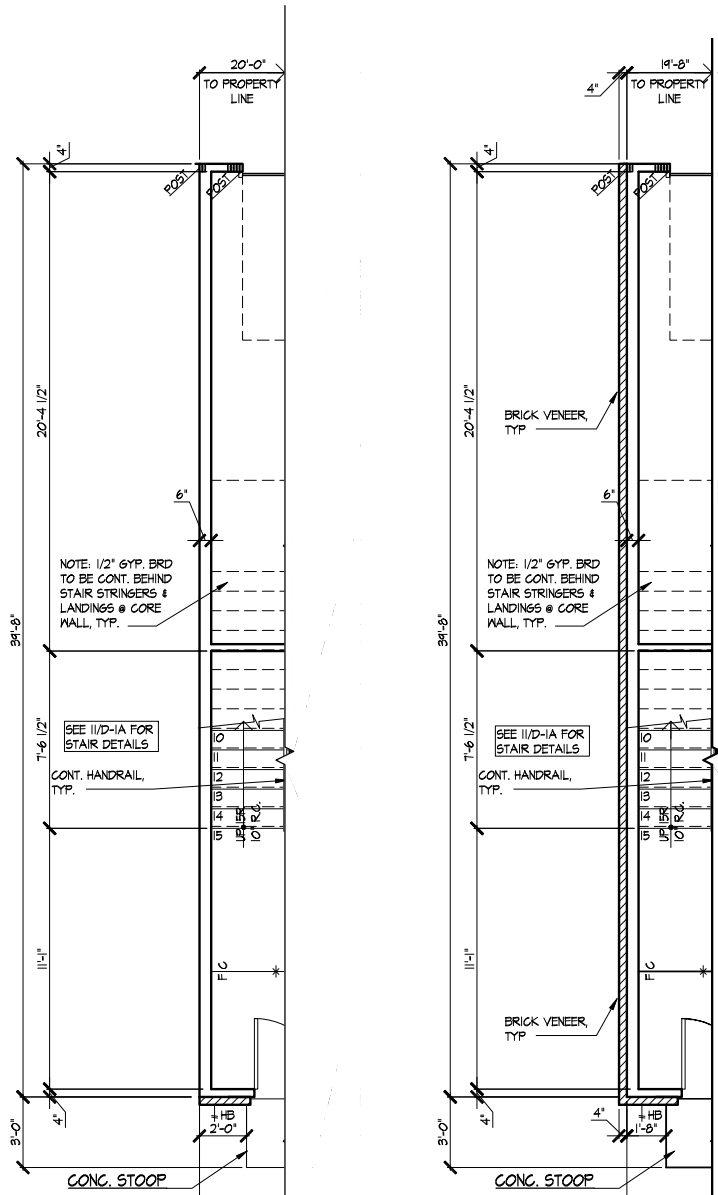
3 PARTIAL LOWER LEVEL PLAN W/ OPT. DECK
 SCALE 1/4"=1'-0" OPT. 01/21



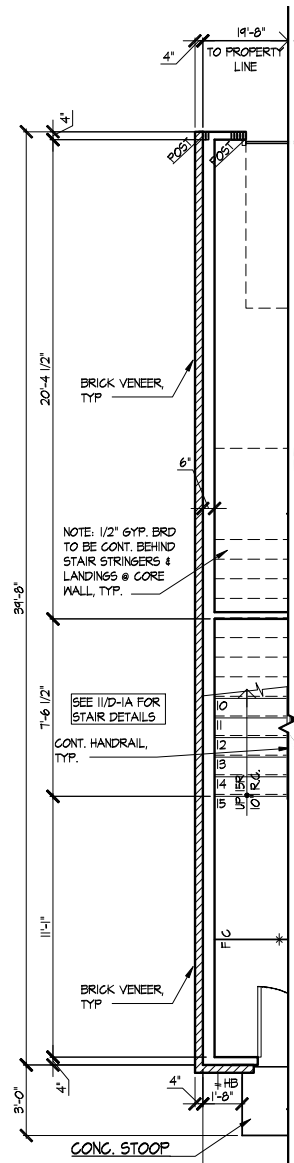
1 LOWER LEVEL PLAN 'A' W/ OPT. DEN W/ FULL BATH
 SCALE 1/4"=1'-0" OPT. 02/20



2 LOWER LEVEL PLAN 'A' W/ OPT. P.W.D.R.
 SCALE 1/4"=1'-0" OPT. 14/05



5 PARTIAL LEFT SIDE LOWER LEVEL PLAN W/ END UNIT
 SCALE 1/4"=1'-0" OPT. 14/00
 NOTE: REFERENCE BASE PLAN FOR INFO. NOT SHOWN



4 PARTIAL LEFT SIDE LOWER LEVEL PLAN W/ END UNIT & OPT. SIDE WATERTABLE OR FULL BRICK VENEER
 SCALE 1/4"=1'-0" OPT. 14/00, 02/60 OR 02/04
 NOTE: REFERENCE BASE PLAN FOR INFO. NOT SHOWN

SEAL:

MODEL:
 D05 JENKINS

ORIGINAL ISSUE DATE: 07/05/2018

REVISION(S):
 09/28/2018

DRAWING DESCRIPTION:
 LOWER LEVEL PLAN OPTIONS

SHEET #
 0-1A

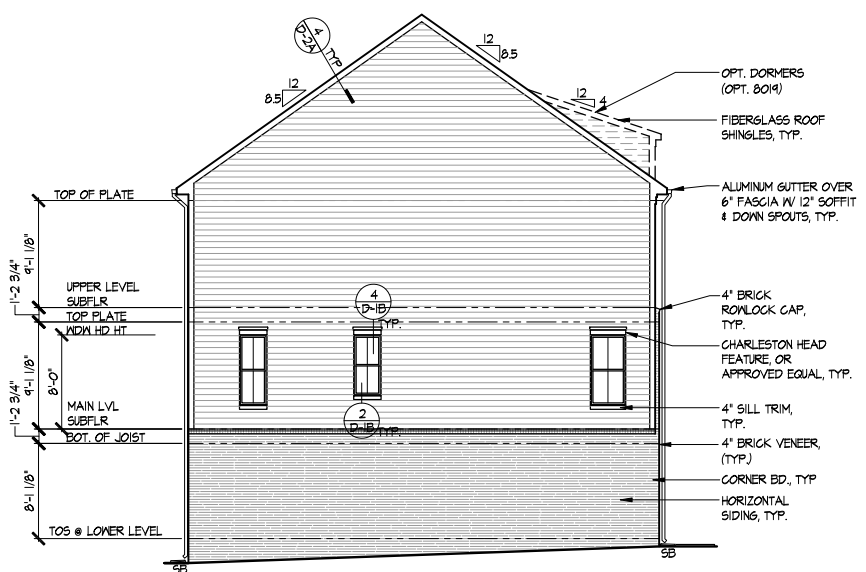
REVISION SET
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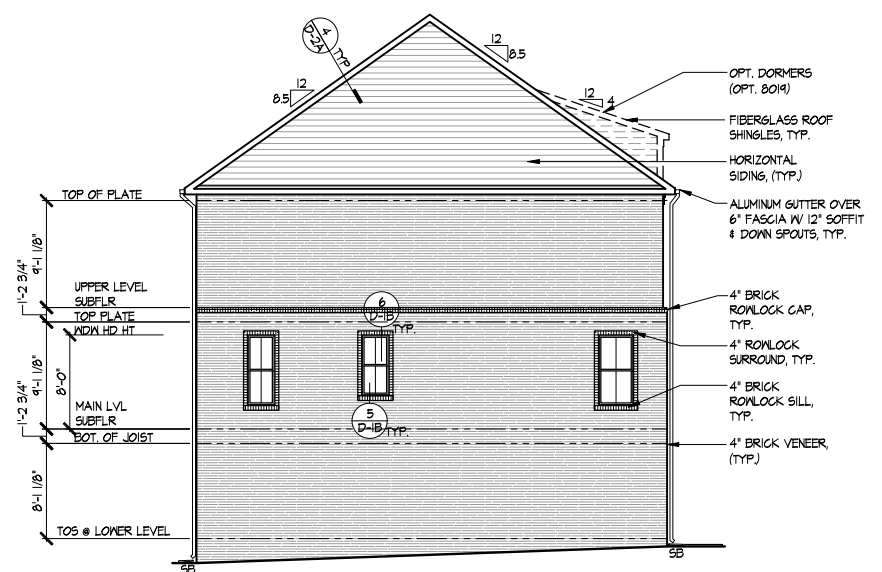
REFER TO PRODUCT BOOK FOR EXTERIOR TRIM

PINNACLE DESIGN & CONSULTING, INC.
1150 FAIRFAX BLVD SUITE 402
TOWSON, MD 21286
TOP-210-3064

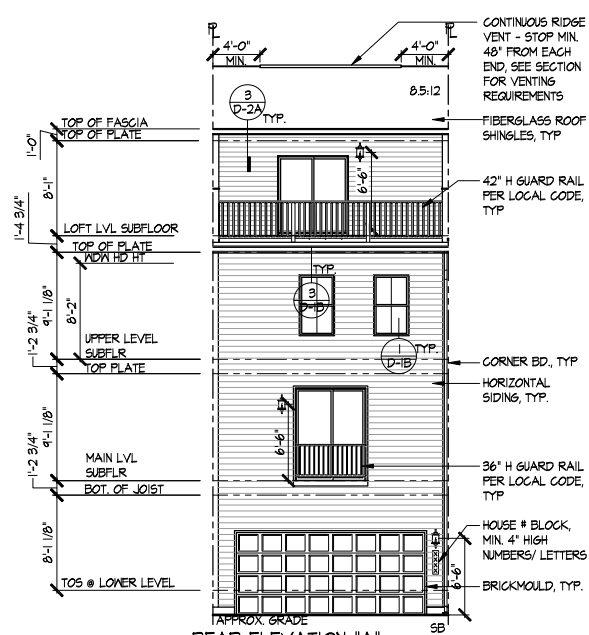
STANLEY MARTIN HOMES
11710 PLAZA AMERICA DRIVE, SUITE 1100, RESTON, VA 20190
PHONE: (703) 964-5000 FAX: (703) 715-8076



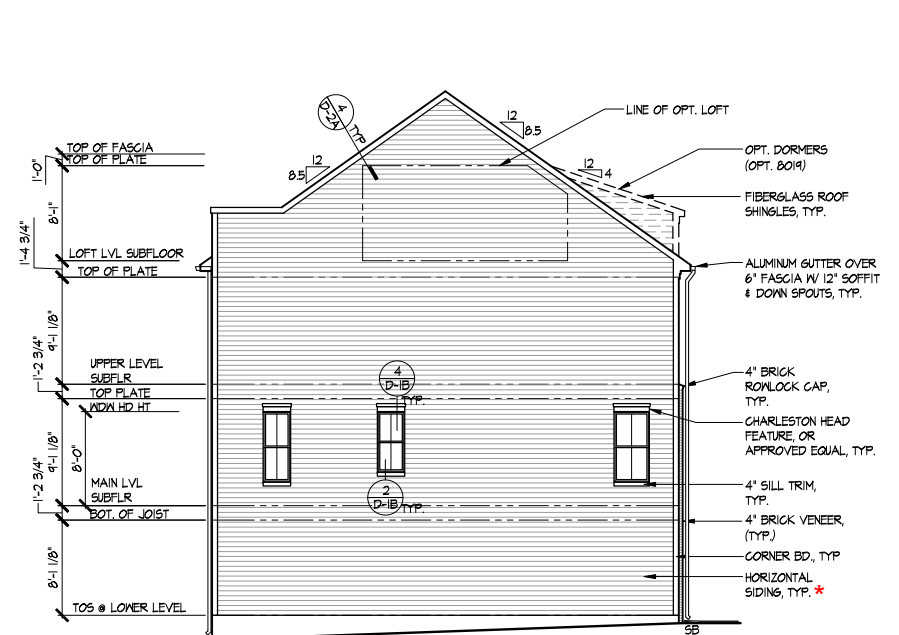
3 TYPICAL SIDE ELEVATION HIGH VISIBILITY SHOWN W/ "A"
SCALE 1/8"=1'-0"
OPT. 8260



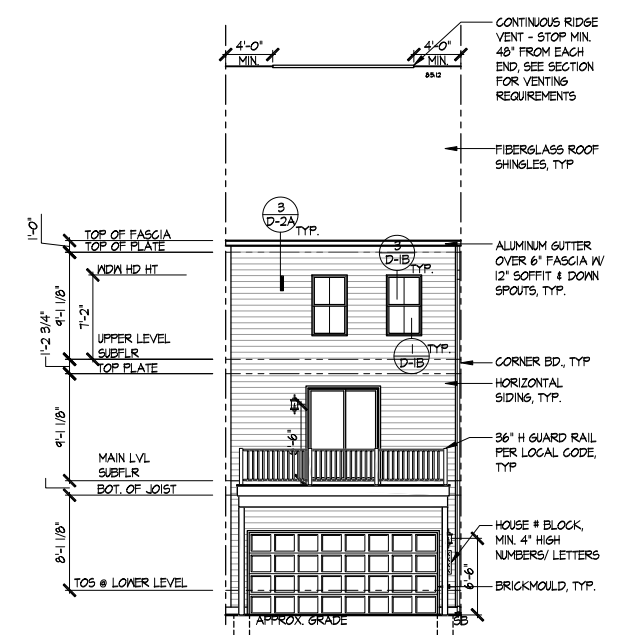
6 TYPICAL SIDE ELEVATION HIGH VISIBILITY W/BRICK SHOWN W/ "A"
SCALE 1/8"=1'-0"
OPT. 8054



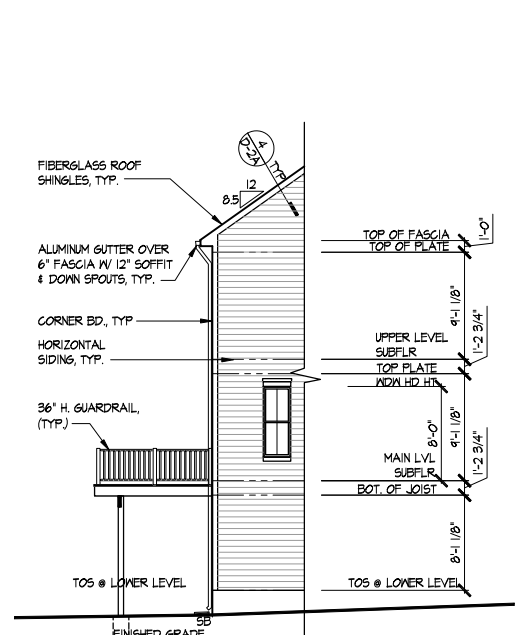
2 REAR ELEVATION "A" W/ OPT. LOFT & TERRACE
SCALE 1/8"=1'-0" SIM. AT ELEV. 'B', 'C', 'D' & 'E'
OPT. 8224, & 8160



1 LEFT SIDE ELEVATION "A" W/ OPT. LOFT & TERRACE
SCALE 1/8"=1'-0"
OPT. 1400, 8224, & 8160



4 REAR ELEVATION W/OPT. DECK I
SCALE 1/8"=1'-0"
OPT. 8121



5 PART'L SIDE ELVATION W/OPT. DECK I
SCALE 1/8"=1'-0"
OPT. 8121

THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY
APPLICATION NAME: LANEY PROPERTY LABELLE ARCHITECTURE
APPLICATION NO: DSP-19020
SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH PUPRI RESOLUTION 2003-08-01-001
SIGNATURE APPROVAL DATE:
Jill Kosack Digitally signed by Jill Kosack Date: 2016.09.10 10:04:48 AM
Authorized Signature

*Brick will be used instead of siding for all highly visible side elevations located on "Gateway Lots" as previously determined by the City of Hyattsville.

REVISION SET
09/28/18

SEAL:

MODEL:
D05 JENKINS

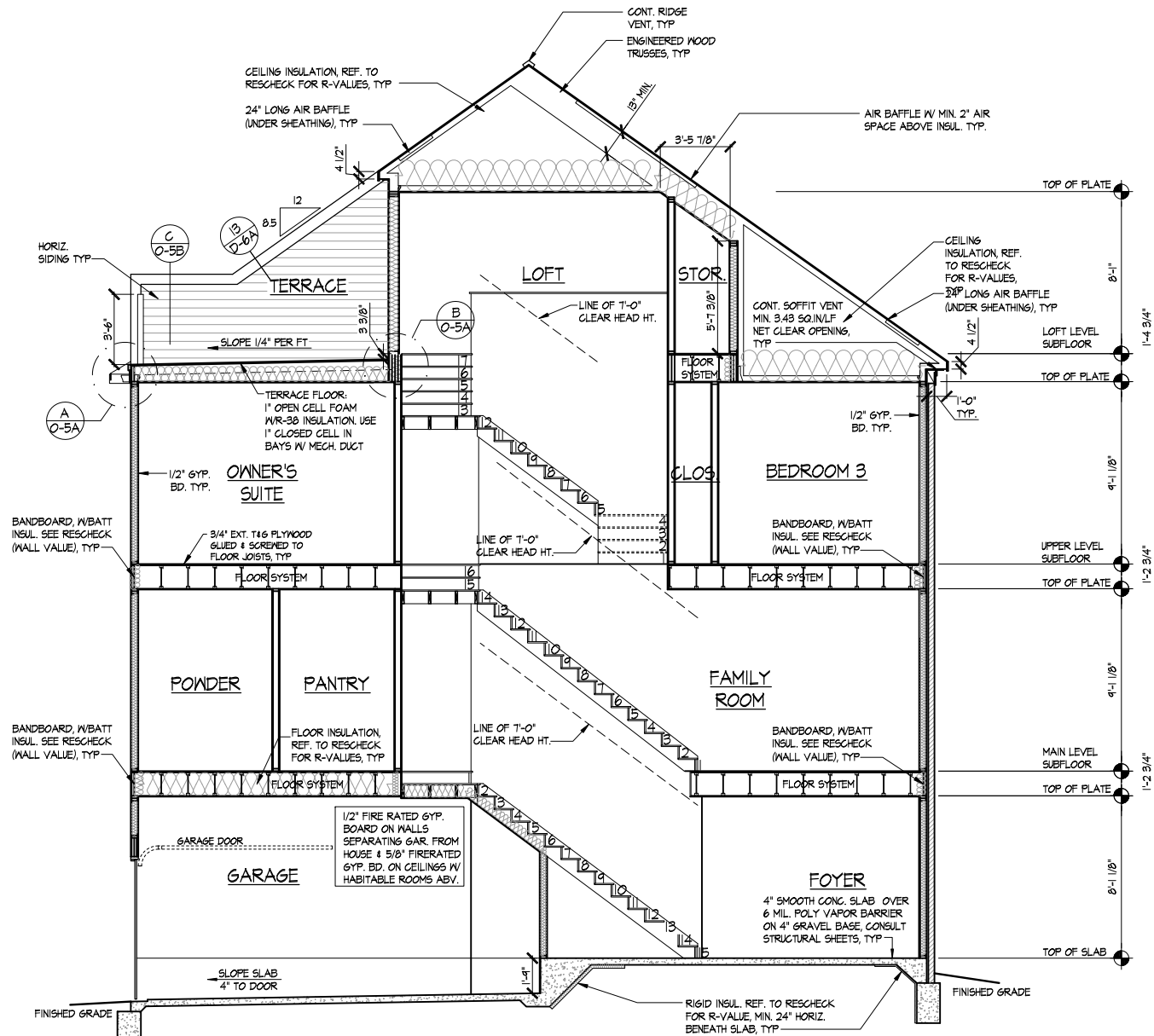
ORIGINAL ISSUE DATE: 07/05/2018

REVISION(S):
09/28/2018

DRAWING DESCRIPTION:
ELEVATIONS OPTIONS

SHEET #
0-4A

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1 BUILDING SECTION W/ OPT. LOFT/TERRACE
 SCALE 1/4"=1'-0"
 OPT. 9824 & 9198

EXTERIOR WALL:
 SIDING OVER APPROVED HOUSE WRAP OVER 1/2" EXT. SHEATHING OVER 2x... STUDS W/BATT. INSULATION PER RESCHECK, TYP.
 BRICK VENEER OVER 1" AIRSPACE OVER 15# FELT OVER APPROVED HOUSE WRAP OVERT 1/2" EXT. SHEATHING OVER 2x... STUDS W/BATT. INSULATION PER RESCHECK, TYP.
 MANUFACTURED STONE VENEER INSTALLED PER MANUF. SPECS OVER APPROVED HOUSE WRAP OVERT 1/2" EXT. SHEATHING OVER 2x... STUDS W/BATT. INSULATION PER RESCHECK, TYP.

ROOF:
 4:12 > SLOPE:
 FIBERGLASS SHINGLES, INSTALL PER MANUF. SPECS OVER 15# FELT OVER 1/2" CDX PLYWOOD W/GLIPS, TYP.
 > 4:12 SLOPE:
 FIBERGLASS SHINGLES, INSTALL PER MANUF. SPECS. OVER 2 LAYERS 15# FELT OVER 1/2" CDX PLYWOOD W/GLIPS, TYP.
 3:12 > SLOPE:
 STANDING SEAM METAL ROOF, INSTALL PER MANUF. SPECS OVER 15# FELT OVER 1/2" CDX PLYWOOD W/GLIPS, TYP.

ROOF VENT CALCULATION:
 REQUIRED AREA TO VENT:
 20' WIDE X 41'-8" D (INCLUDES OH) = 833.3 SQ. FT
 833.3 SQ.FT X 144. (CONVERT TO SQ.IN) / 600 = 199.99 SQ.IN
 MIN. RIDGE VENT REQUIRED:
 199.99 SQ.IN : 12 LF OF RIDGE = 11.1 SQ.IN/LF NET CLEAR OPENING
 MIN. SOFFIT VENT REQUIRED:
 104.68 SQ.IN : 54 LF OF SOFFIT = 3.43 SQ.IN/LF NET CLEAR OPENING

PINNACLE DESIGN & CONSULTING, INC.
 1150 FAIRFAX BLVD SUITE 402
 FAIRFAX, VA 22030
 (703) 964-5000

STANLEY MARTIN HOMES
 11710 PLAZA AMERICA DRIVE, SUITE 1100, RESTON, VA 20190
 PHONE: (703) 964-5000 FAX: (703) 715-8076

SEAL:

MODEL:
 D05 JENKINS

ORIGINAL ISSUE DATE: 01/05/2018

REVISION(S):
 09/28/2018

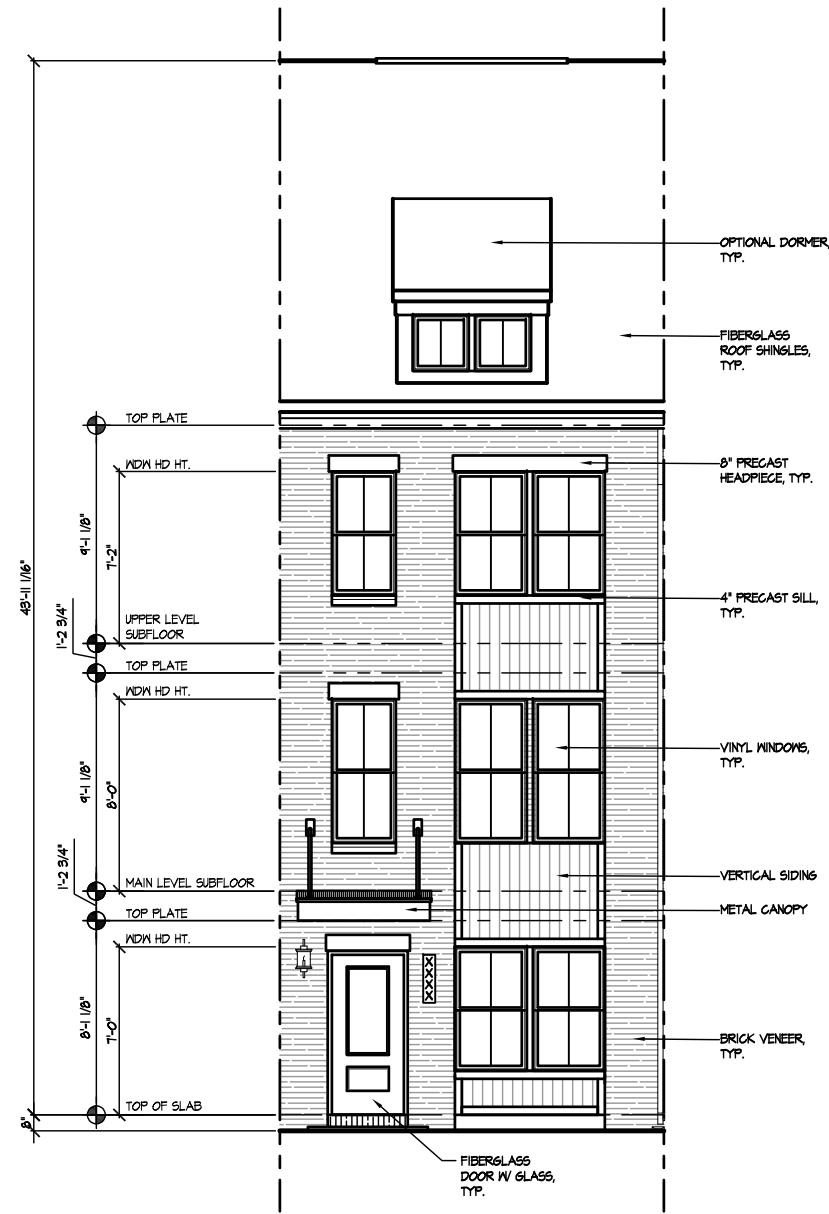
DRAWING DESCRIPTION:
 BUILDING SECTIONS W/OPTIONS

SHEET #
 0-5B

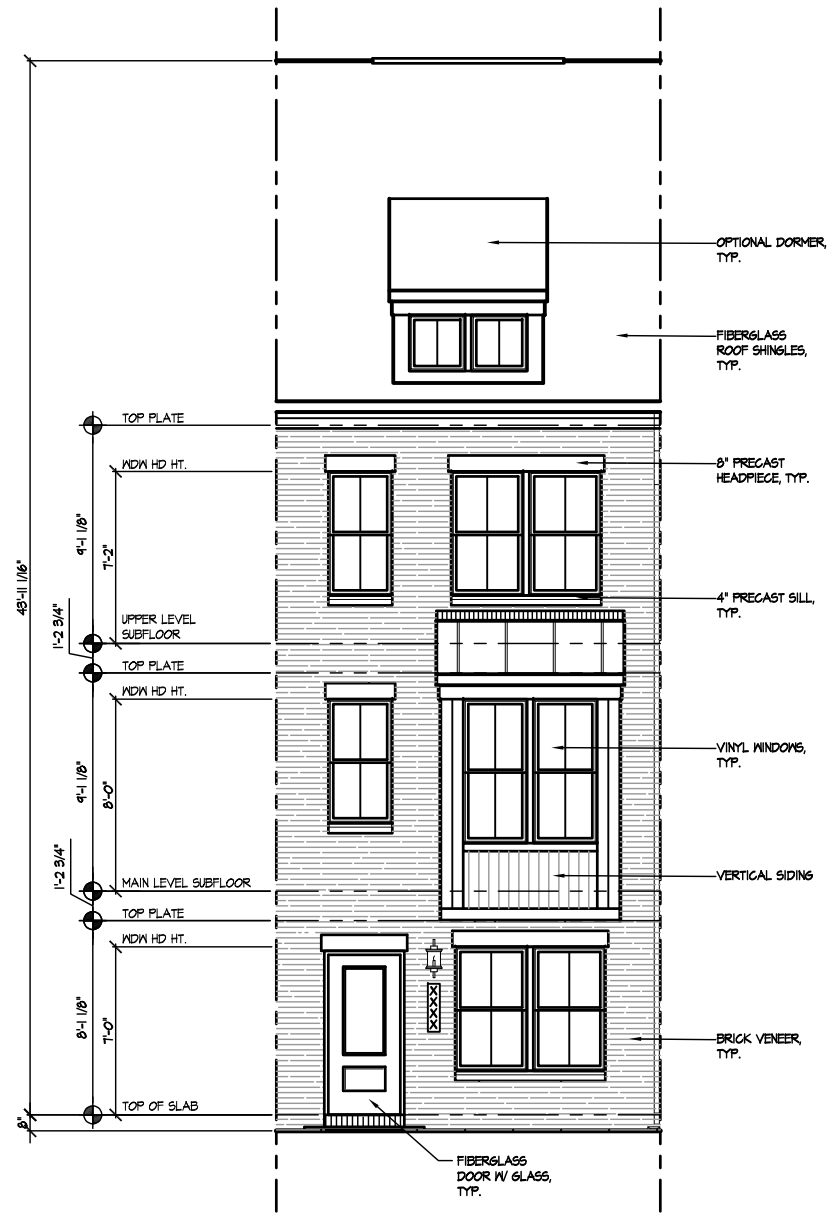
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
 FOR OFFICIAL USE ONLY
 APPLICATION NAME: LANDY PROPERTY UMBRELLA ARCHITECTURE
 APPLICATION NO.: DSP-19020
 SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH FCORP RESOLUTION NO. 2020-66 DATED MAY 28, 2020.
 SIGNATURE APPROVAL DATE:
 Jill Kosack
 Date: 2020.09.10 09:59:49 -0400
 AUTHORIZED SIGNATURE

REVISION SET
 09/28/18

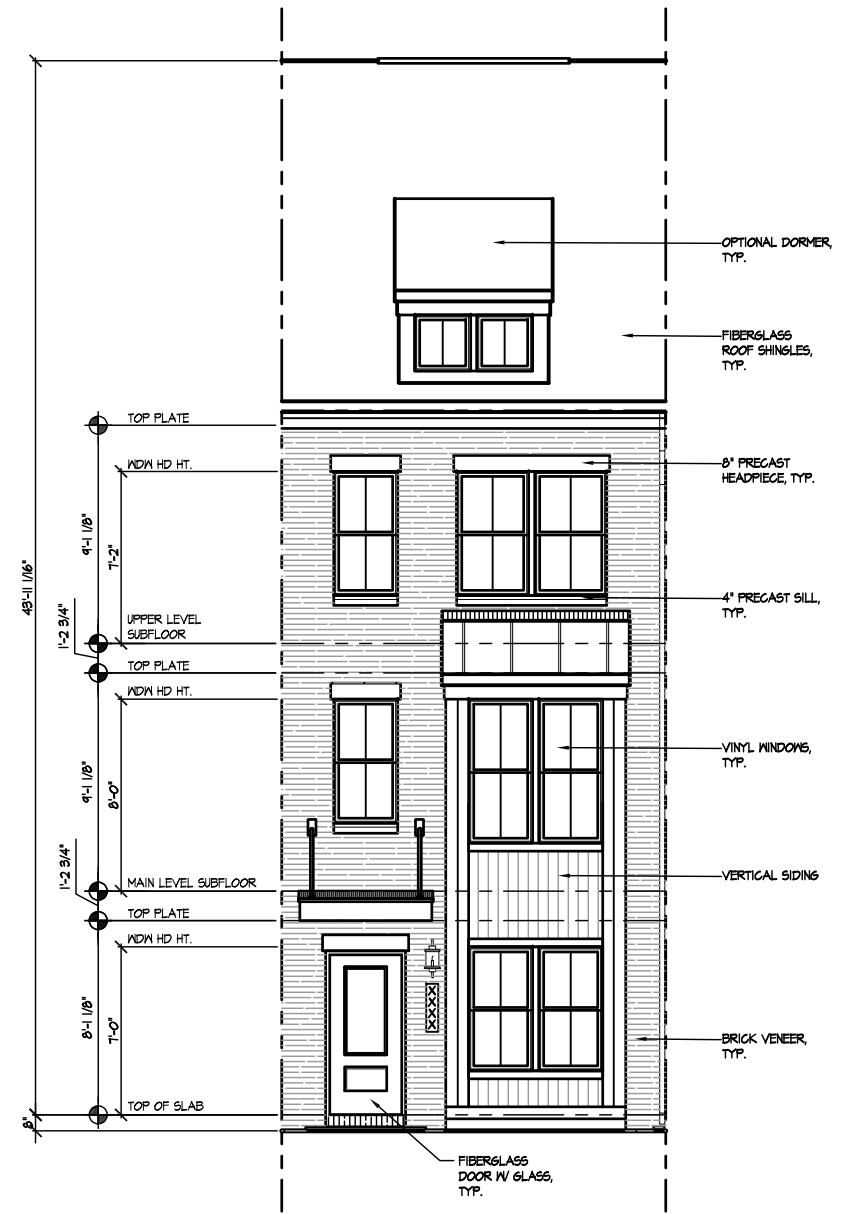
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 © 2018, 2019



Elevation C



Elevation G



Elevation F



 TIONAL CAPITAL
 ID COMMISSION
2020-06-17

APPLICATION NAME: LANDY PROPERTY UMBRELLA
 ARCHITECTURE
 APPLICATION NO.: DSP-19020
 SIGNATURE APPROVAL OF THIS PLAN IS IN
 ACCORDANCE WITH PROFRES RESOLUTION
 NO. 2020-88 DATED MAY 28, 2020.
 SIGNATURE APPROVAL DATE:
 Jill Kosack Digitally signed by
 Date: 2020.09.10
 09:09:49 -0400
 Kosack
AUTHORIZED SIGNATURE

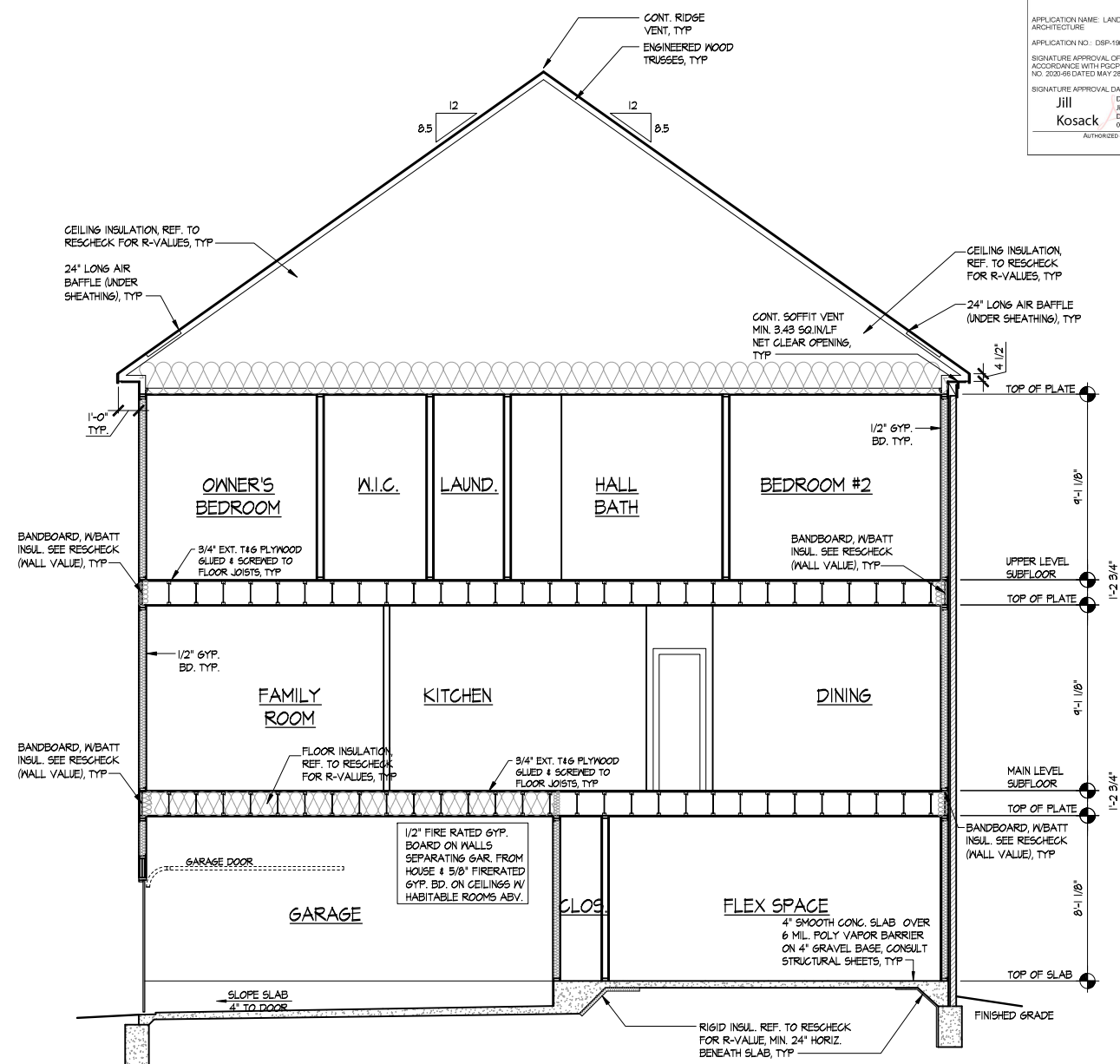
ROOF VENT CALCULATION:
 REQUIRED AREA TO VENT:
 16' WIDE X 41'-8" D (INCLUDES OH) = 666.6 SQ. FT
 $\frac{666.6 \text{ SQ.FT} \times 144 \text{ (CONVERT TO SQ.IN)}}{600} = 159.98 \text{ SQ.IN}$
 MIN. RIDGE VENT REQUIRED:
 159.98 SQ.IN ÷ 9 LF OF RIDGE = 17.7 SQ.IN/LF NET CLEAR OPENING
 MIN. SOFFIT VENT REQUIRED:
 159.98 SQ.IN ÷ 41 LF OF SOFFIT = 3.43 SQ.IN/LF NET CLEAR OPENING

EXTERIOR WALL:
 SIDING OVER APPROVED HOUSE WRAP OVER 1/2" EXT. SHEATHING OVER 2x... STUDS W/BATT. INSULATION PER RESCHECK, TYP.
 BRICK VENEER OVER 1" AIRSPACE OVER 15# FELT OVER APPROVED HOUSE WRAP OVER 1/2" EXT. SHEATHING OVER 2x... STUDS W/BATT. INSULATION PER RESCHECK, TYP.
 MANUFACTURED STONE VENEER INSTALLED PER MANUF. SPECS OVER APPROVED HOUSE WRAP OVER 1/2" EXT. SHEATHING OVER 2x... STUDS W/BATT. INSULATION PER RESCHECK, TYP.

ROOF:
 4:12 & > SLOPE:
 FIBERGLASS SHINGLES, INSTALL PER MANUF. SPECS OVER 15# FELT OVER 1/2" CDX PLYWOOD W/GLIPS, TYP.
 > 4:12 SLOPE:
 FIBERGLASS SHINGLES, INSTALL PER MANUF. SPECS OVER 2 LAYERS 15# FELT OVER 1/2" CDX PLYWOOD W/GLIPS, TYP.
 3:12 & > SLOPE:
 STANDING SEAM METAL ROOF, INSTALL PER MANUF. SPECS OVER 15# FELT OVER 1/2" CDX PLYWOOD W/GLIPS, TYP.

PINNACLE DESIGN & CONSULTING, INC.
 1180 FAIRFAX BLVD SUITE 402
 FAIRFAX, VA 22030
 (703) 218-5061

THE MARYLAND-NATIONAL CAPITAL
 PARK AND PLANNING COMMISSION
 FOR OFFICIAL USE ONLY
 APPLICATION NAME: LANDY PROPERTY UMBRELLA
 ARCHITECTURE
 APPLICATION NO.: DSP-10020
 SIGNATURE APPROVAL OF THIS PLAN IS IN
 ACCORDANCE WITH PGCPB RESOLUTION
 NO. 2003-66 DATED MAY 28, 2003.
 SIGNATURE APPROVAL DATE: Digitally signed by
 Jill Kosack
 Date: 2018.10.
 09:09:49 -0400
 Authorized Signature



1 BUILDING SECTION
 SCALE 1/4"=1'-0"

STANLEY MARTIN HOMES
 1110 PLAZA AMERICA DRIVE, SUITE 1100, RESTON, VA 20190
 PHONE: (703) 464-5000 FAX: (703) 715-8076

SEAL:

MODEL:
 D25 HUGO

ORIGINAL ISSUE
 DATE: 06/26/2018

REVISION(S):
 10/01/2018

DRAWING DESCRIPTION:
 BUILDING SECTIONS

SHEET #
 A-5A

REVISION SET
 10/01/18

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ROOF VENT CALCULATION:
 REQUIRED AREA TO VENT:
 16' WIDE X 41'-8" D (INCLUDES OH) = 666.6 SQ. FT.
 $666.6 \text{ SQ. FT.} \times 144 \text{ (CONVERT TO SQ. IN.)} = 96000 \text{ SQ. IN.}$
 $96000 \text{ SQ. IN.} / 600 = 160 \text{ SQ. IN.}$
 MIN. RIDGE VENT REQUIRED:
 $154.98 \text{ SQ. IN.} \div 9 \text{ LF OF RIDGE} = 17.1 \text{ SQ. IN./LF NET CLEAR OPENING}$
 MIN. SOFFIT VENT REQUIRED:
 $154.98 \text{ SQ. IN.} \div 41 \text{ LF OF SOFFIT} = 3.78 \text{ SQ. IN./LF NET CLEAR OPENING}$

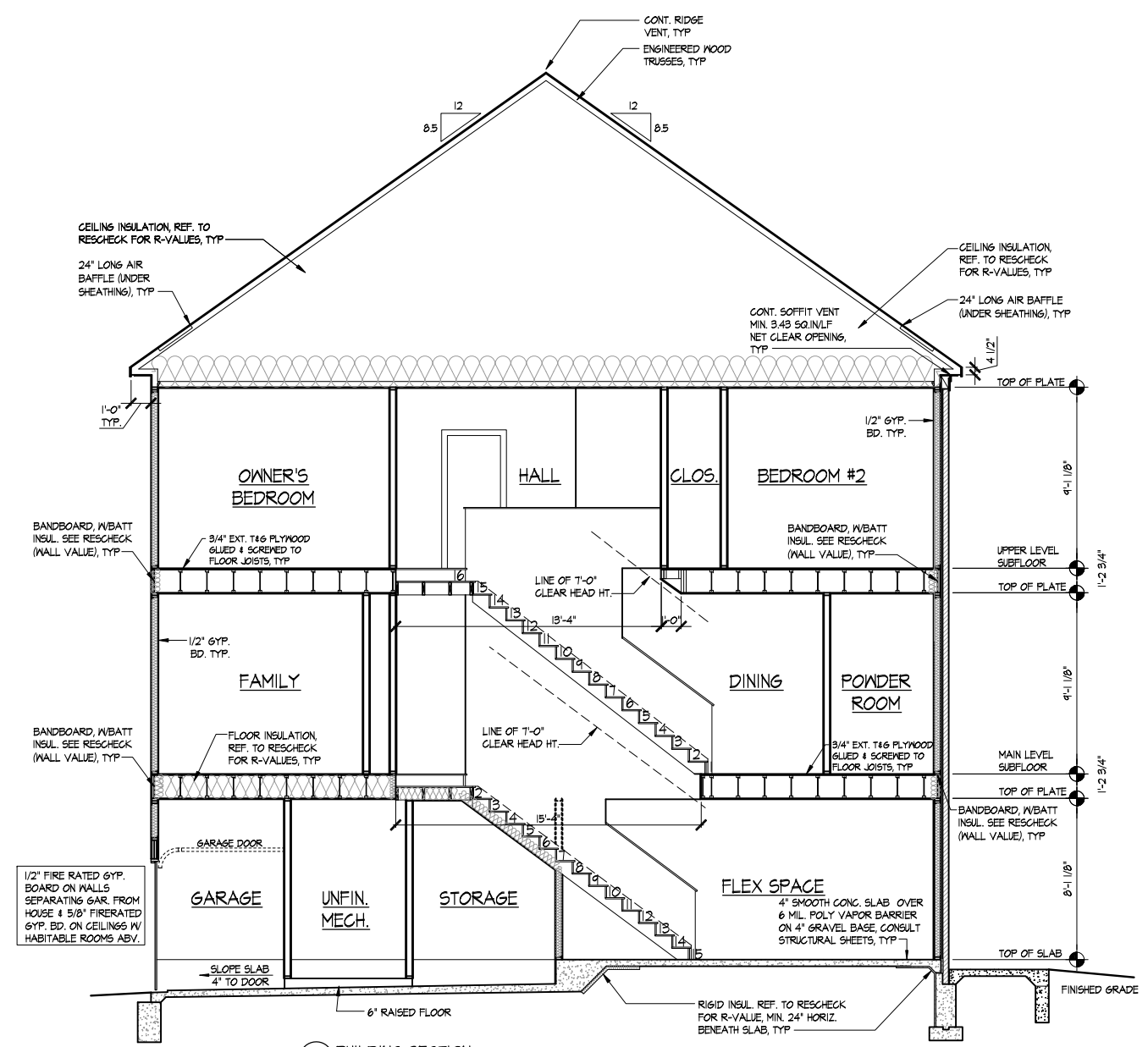
EXTERIOR WALL:
 SIDING OVER APPROVED HOUSE WRAP OVER 1/2" EXT. SHEATHING OVER 2x... STUDS WBATT. INSULATION PER RESCHECK, TYP.
 BRICK VENEER OVER 1" AIRSPACE OVER 1/2" FELT OVER APPROVED HOUSE WRAP OVER 1/2" EXT. SHEATHING OVER 2x... STUDS WBATT. INSULATION PER RESCHECK, TYP.
 MANUFACTURED STONE VENEER INSTALLED PER MANUF. SPECS OVER APPROVED HOUSE WRAP OVER 1/2" EXT. SHEATHING OVER 2x... STUDS WBATT. INSULATION PER RESCHECK, TYP.

ROOF:
 4:12 > SLOPE:
 FIBERGLASS SHINGLES, INSTALL PER MANUF. SPECS OVER 1/2" FELT OVER 1/2" CDX PLYWOOD W/CLIPS, TYP.
 > 4:12 SLOPE:
 FIBERGLASS SHINGLES, INSTALL PER MANUF. SPECS OVER 2 LAYERS 1/2" FELT OVER 1/2" CDX PLYWOOD W/CLIPS, TYP.
 3:12 > SLOPE:
 STANDING SEAM METAL ROOF, INSTALL PER MANUF. SPECS OVER 1/2" FELT OVER 1/2" CDX PLYWOOD W/CLIPS, TYP.

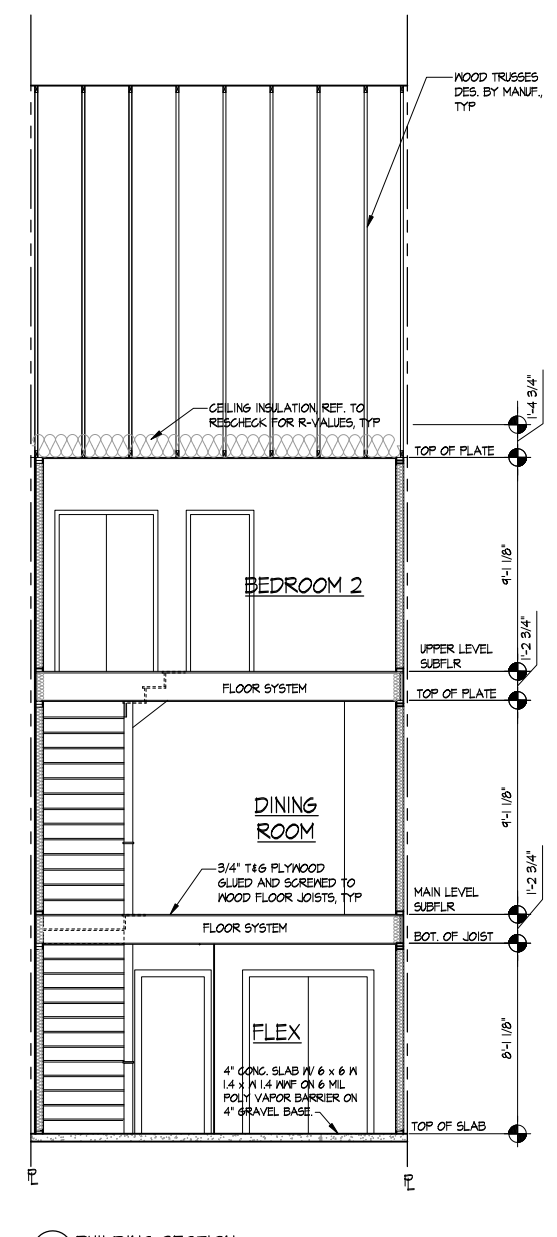
THE MERRIFIELD NATIONAL CAPITAL PARK AND PLANNING COMMISSION
 FOR SPECIAL USE ONLY
 APPLICATION NAME: LANDY PROPERTY UMBRELLA ARCHITECTURE
 APPLICATION NO.: DSRP-19000
 SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH FCPR RESOLUTION NO. 2020-08 DATED MAY 28, 2020.
 SIGNATURE APPROVAL DATE: Digitally signed by Jill Kosack Date: 2020.10.10 09:04:48 -0400
 Authorized Signature

PINNACLE DESIGN & CONSULTING, INC.
 1180 FAIRFAX BLVD SUITE 402
 FAIRFAX, VA 22030
 (703) 218-5064

STANLEY MARTIN HOMES
 11710 PLAZA AMERICA DRIVE, SUITE 1100, RESTON, VA 20190
 PHONE: (703) 464-5000 FAX: (703) 715-8076



1 BUILDING SECTION
 SCALE 1/4"=1'-0"



2 BUILDING SECTION
 SCALE 1/4"=1'-0"

SEAL:

MODEL:
 D25 HUGO

ORIGINAL ISSUE DATE: 06/26/2018

REVISION(S):

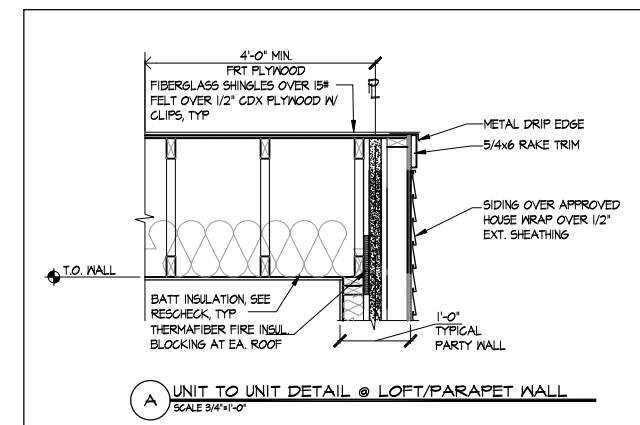
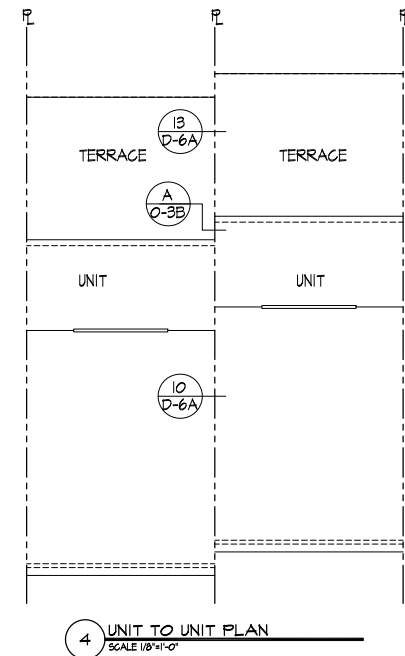
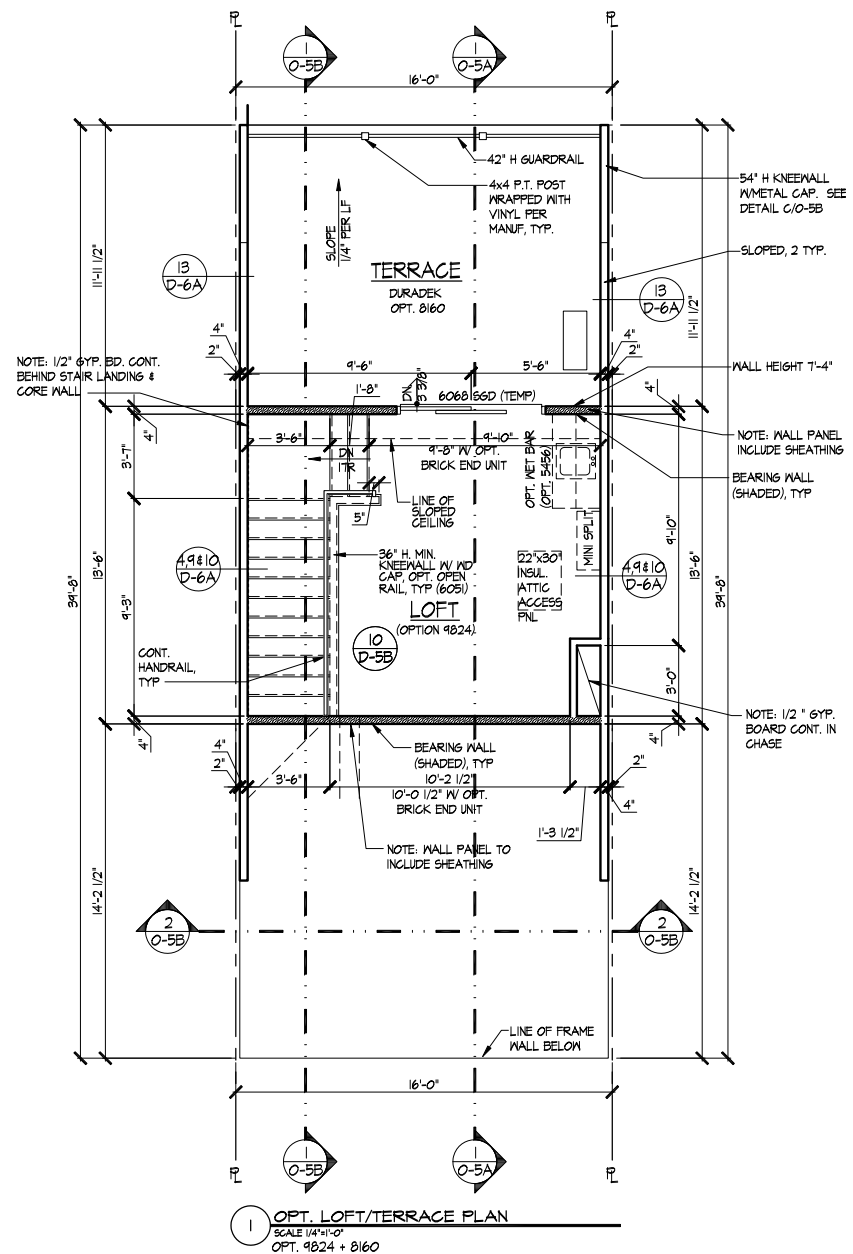
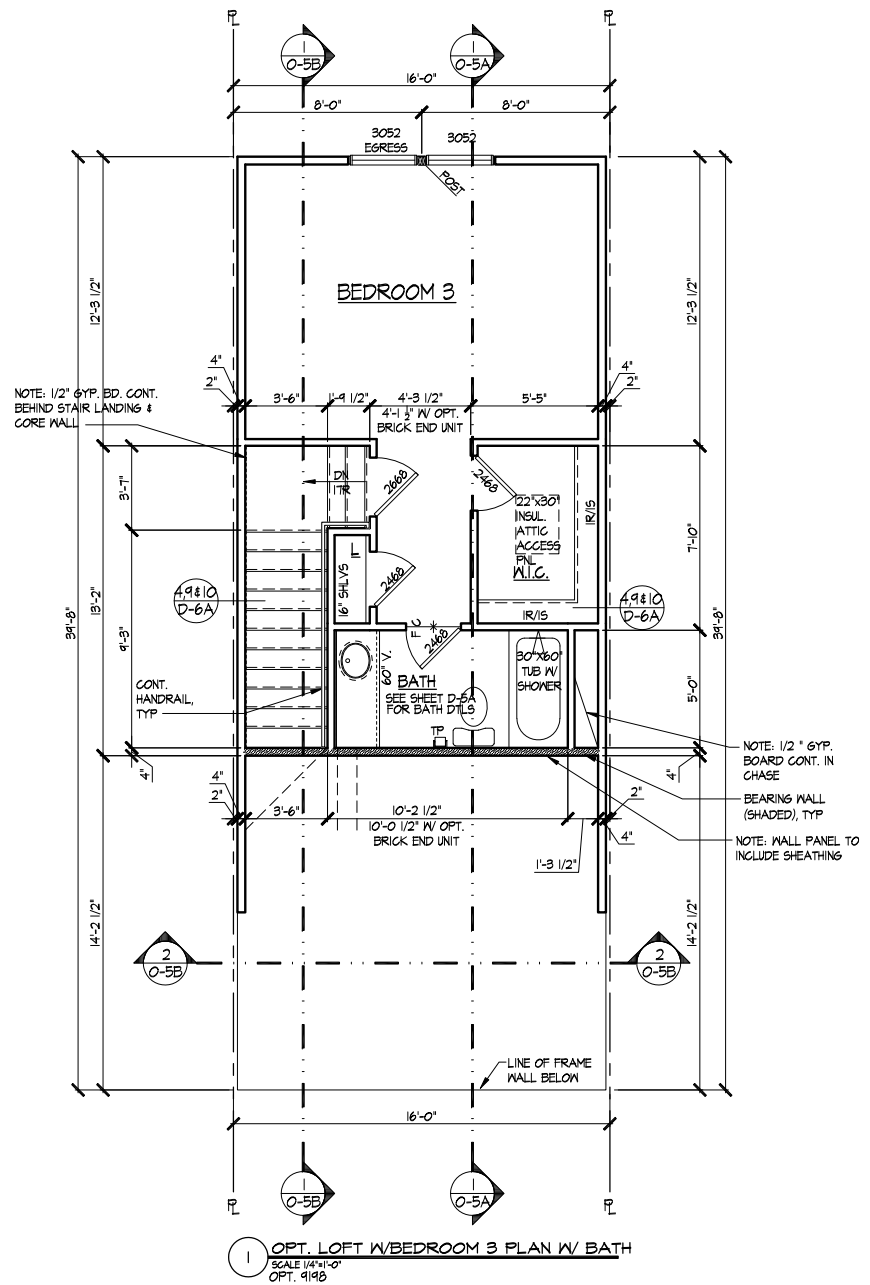
10/01/2018

DRAWING DESCRIPTION:
 BUILDING SECTIONS

SHEET #
 A-5B

REVISION SET
 10/01/18

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GENERAL NOTES:
1. WINDOW PANELS LARGER THAN 9 SQUARE FEET AND 18" OR LESS ABOVE FINISHED FLOOR (I.E. BOTTOM SASH) SHALL BE TEMPERED.
2. WINDOW SILLS OF OPERABLE UNITS TO BE A MIN. OF 24" FROM THE FINISHED FLOOR.
3. AVOID PLACING PLUMBING WASTE STACKS 12"-16" FROM BACK OF CLOSET FOR SHELF CONNECTION

THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LANDY PROPERTY UMBRELLA ARCHITECTURE
APPLICATION NO: DSR-19020
SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH FCPR'S RESOLUTION NO. 2020-66 DATED MAY 28, 2020.

SIGNATURE APPROVAL DATE: Digitally signed by Jill Kosack
Date: 2020.09.10 09:09:49 -0400
Jill Kosack
Kosack

FINNACLE DESIGN & CONSULTING, INC.
11150 FAIRFAX BLVD SUITE 402
FAIRFAX, VA 22030
703-218-5084

STANLEY MARTIN HOMES
11710 PLAZA AMERICA DRIVE, SUITE 1100, RESTON, VA 20190
PHONE: (703) 464-5000 FAX: (703) 715-8076

SEAL:

MODEL: D25 HUGO

ORIGINAL ISSUE DATE: 06/26/2018

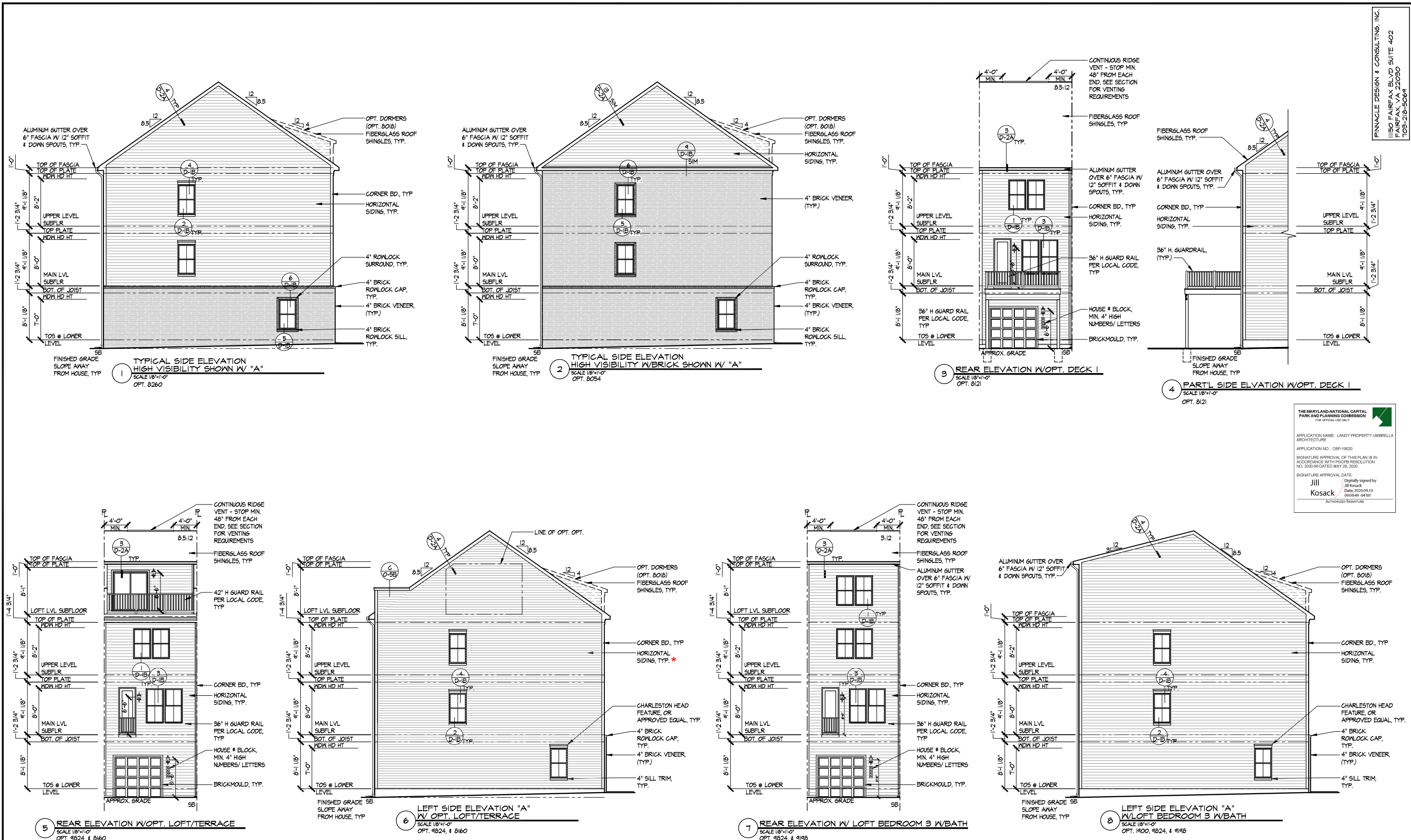
REVISION(S): 10/01/2018

DRAWING DESCRIPTION: LOFT PLAN OPTIONS

SHEET #: 0-3B

REVISION SET
10/01/18

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THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LANDY PROPERTY UMBRELLA ARCHITECTURE
APPLICATION NO.: DSP-19020
SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH PROGRAM RESOLUTION NO. 2000-68 DATED MAY 28, 2020
SIGNATURE APPROVAL DATE:
Jill Kosack Digitally signed by Jill Kosack Date: 2020.09.18 09:59:49 -0400
Kosack AUTHORIZED SIGNATURE

*Brick will be used instead of siding for all highly visible side elevations located on "Gateway Lots" as previously determined by the City of Hyattsville.

REVISION SET
10/01/18

STANLEY MARTIN HOMES

11710 PLAZA AMERICA DRIVE, SUITE 1100, RESTON, VA 20190
PHONE: (703) 464-5000 FAX: (703) 715-8076

SEAL:

MODEL: D25 HUGO

ORIGINAL ISSUE DATE: 06/26/2018

REVISION(S):
10/01/2018

DRAWING DESCRIPTION:
ELEVATIONS OPTIONS

SHEET #
0-4A

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PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LINDY PROPERTY UMBRELLA
ARCHITECTURE

APPLICATION NO.: DSP-18020

SIGNATURE APPROVAL OF THIS PLAN IS IN
ACCORDANCE WITH FCOR'S RESOLUTION
NO. 2020-06 DATED MAY 26, 2020.

SIGNATURE APPROVAL DATE: Digitally signed by
Jill Kosack Date: 2020.09.18
09:09:49 -0400

Authorized Signature




 THE MARYLAND NATIONAL CAPITAL
 PARK AND PLANNING COMMISSION
PLANNING DIVISION
 APPLICATION NAME: LANDY PROPERTY UMBRELLA
 ARCHITECTURE
 APPLICATION NO.: DDP-18020
 SIGNATURE APPROVAL OF THIS PLAN IS IN
 ACCORDANCE WITH HOUSING RESOLUTION
 NO. 2020-09 DATED MAY 26, 2020.
 SIGNATURE APPROVAL DATE:
 Jill Kosack Digitally signed by
 Jill Kosack Date: 2020.09.10
 09:56:48 -0400
 AUTHORIZED SIGNATURE



THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LANDY PROPERTY UMBRELLA
INDUSTRY TYPE:
APPLICATION NO.: DSR-19023
SIGNATURE APPROVAL OF THIS PLAN IS IN
ACCORDANCE WITH PDOPB RESOLUTION
NO. 2020-04 DATED MAY 28, 2020.

SIGNATURE APPROVAL DATE:
Digitally signed by
Jill Kosack
Date: 2020.09.10
09:59:49 -0400
Authorized Signature



THE MARYLAND-NATIONAL CAPITAL
PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LINDY PROPERTY UMBRELLA
ARCHITECTURE
APPLICATION NO.: 089-18028
SIGNATURE APPROVAL OF THIS PLAN IS IN
ACCORDANCE WITH PCOFR RESOLUTION
NO. 20288 DATED MAY 28, 2020

SIGNATURE APPROVAL DATE:
Jill Kosack Digitally signed by
Date: 2020.09.10 09:04:48 EDT
Authorized Signature



THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LANDY PROPERTY UMBRELLA
ARCHITECTURE
APPLICATION NO.: DSP-19020
SIGNATURE APPROVAL OF THIS PLAN IS IN
ACCORDANCE WITH PROJECT RESOLUTION
NO. 2023-06 DATED MAY 28, 2020.

SIGNATURE APPROVAL DATE: Digitally signed by
Jill Kosack
Date: 2023.09.10
09:49:48-0400
AUTHORIZED SIGNATURE



THE MARYLAND NATIONAL CAPITAL
FAIR AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LANDY PROPERTY UMBRELLA
ARCHITECTURE

APPLICATION NO.: DBP-19020

SIGNATURE APPROVAL OF THIS PLAN IS IN
ACCORDANCE WITH PGCFB RESOLUTION
NO. 2020-05 DATED MAY 26, 2020.

SIGNATURE APPROVAL DATE:
Jill Kosack
Kosack

Digitally signed by
Jill Kosack
Date: 2020.08.10
09:09:49 -0400

AUTHORIZED SIGNATURE



THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LANDY PROPERTY UMBRELLA
ARCHITECTURE

APPLICATION NO.: DSP-19020

SIGNATURE APPROVAL OF THIS PLAN IS IN
ACCORDANCE WITH PGCPB RESOLUTION
NO. 2020-05 DATED MAY 28, 2020.

SIGNATURE APPROVAL DATE:
Digitally signed by
Jill Kosack
Date: 2020.09.10
09:09:49 -0400
Authorized Signature



THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LANDY PROPERTY UMBRELLA
ARCHITECTURE

APPLICATION NO.: DSP-19020

SIGNATURE APPROVAL OF THIS PLAN IS IN
ACCORDANCE WITH PCFPC RESOLUTION
NO. 2020-06 DATED MAY 26, 2020.

SIGNATURE APPROVAL DATE:

Jill Kosack
Digitally signed by
Jill Kosack
Date: 2020.09.10
09:09:49 -0400

AUTHORIZED SIGNATURE



THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LANDY PROPERTY UMBRELLA
ARCHITECTURE

APPLICATION NO.: DSP-19020

SIGNATURE APPROVAL OF THIS PLAN IS IN
ACCORDANCE WITH PGCRS RESOLUTION
NO. 2020-06 DATED MAY 28, 2020.

SIGNATURE APPROVAL DATE: Digitally signed by
Jill Kosack
Date: 2020.06.10
09:04:48 -0400

**Jill
Kosack**
AUTHORIZED SIGNATURE



THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LANDY PROPERTY UMBRELLA
ARCHITECTURE

APPLICATION NO.: DSP-19020

SIGNATURE APPROVAL OF THIS PLAN IS IN
ACCORDANCE WITH PCFIB RESOLUTION
NO. 2020-06 DATED MAY 28, 2020.

SIGNATURE APPROVAL DATE:
Digitally signed by
Jill Kosack
Date: 2020.09.10
09:05:49 -0400

AUTHORIZED SIGNATURE



THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LANDY PROPERTY UMBRELLA
ARCHITECTURE

APPLICATION NO.: DSP-19020

SIGNATURE APPROVAL OF THIS PLAN IS IN
ACCORDANCE WITH PCFPR RESOLUTION
NO. 2020-98 DATED MAY 28, 2020

SIGNATURE APPROVAL DATE:

Jill
Kosack

Digitally signed by
Jill Kosack
Date: 2020.09.10
09:05:49 -0400

AUTHORIZED SIGNATURE



THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LINDY PROPERTY UMBRELLA
ARCHITECTURE
APPLICATION NO.: DSP-19020
SIGNATURE APPROVAL OF THIS PLAN IS IN
ACCORDANCE WITH FCORP RESOLUTION
NO. 2020-66 DATED MAY 28, 2020.

SIGNATURE APPROVAL DATE:
Jill Kosack Digitally signed by
Date: 2020.09.10
09:09:49 -0400
AUTHORIZED SIGNATURE

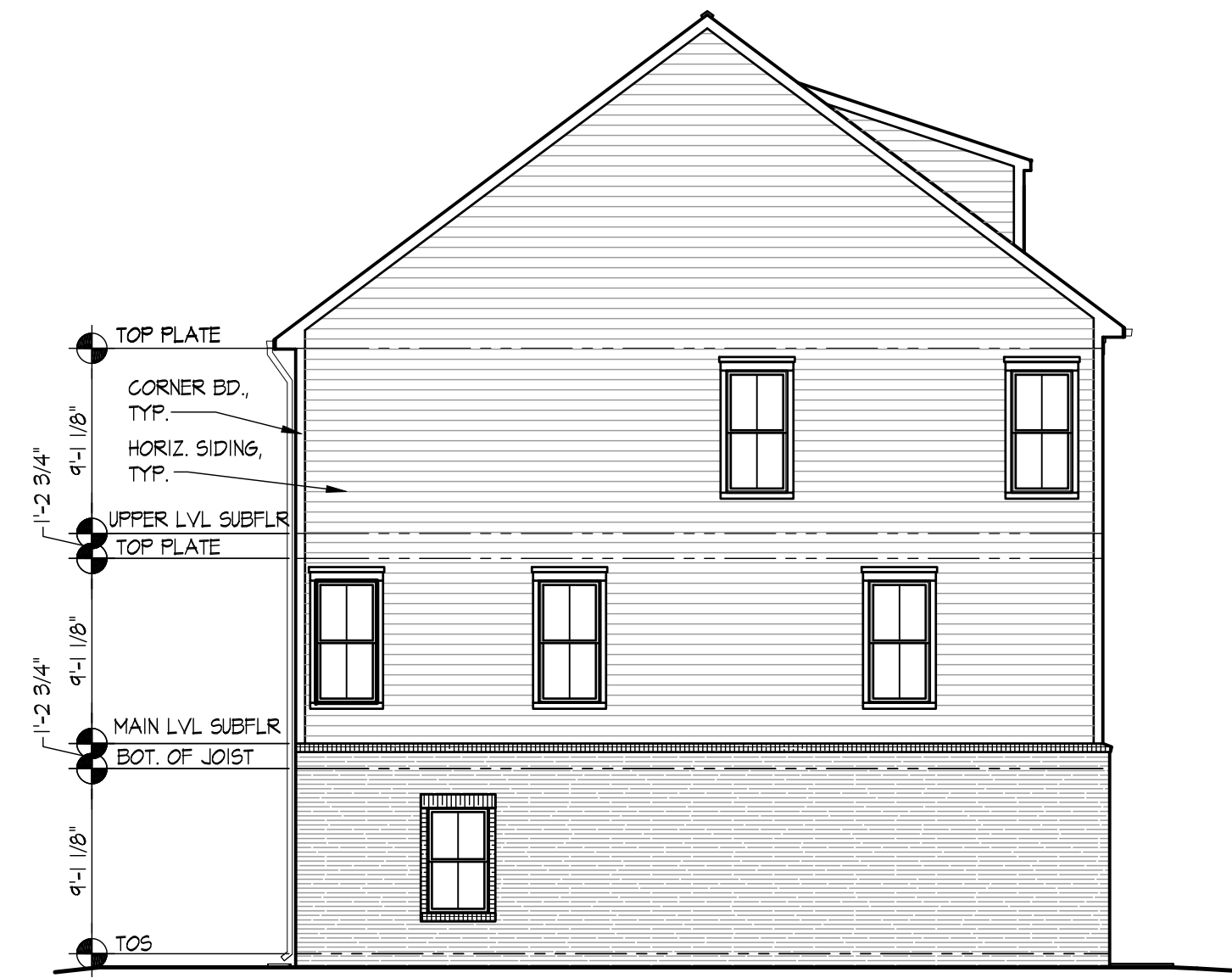


THE MARYLAND NATIONAL CAPITAL
PLANNING AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

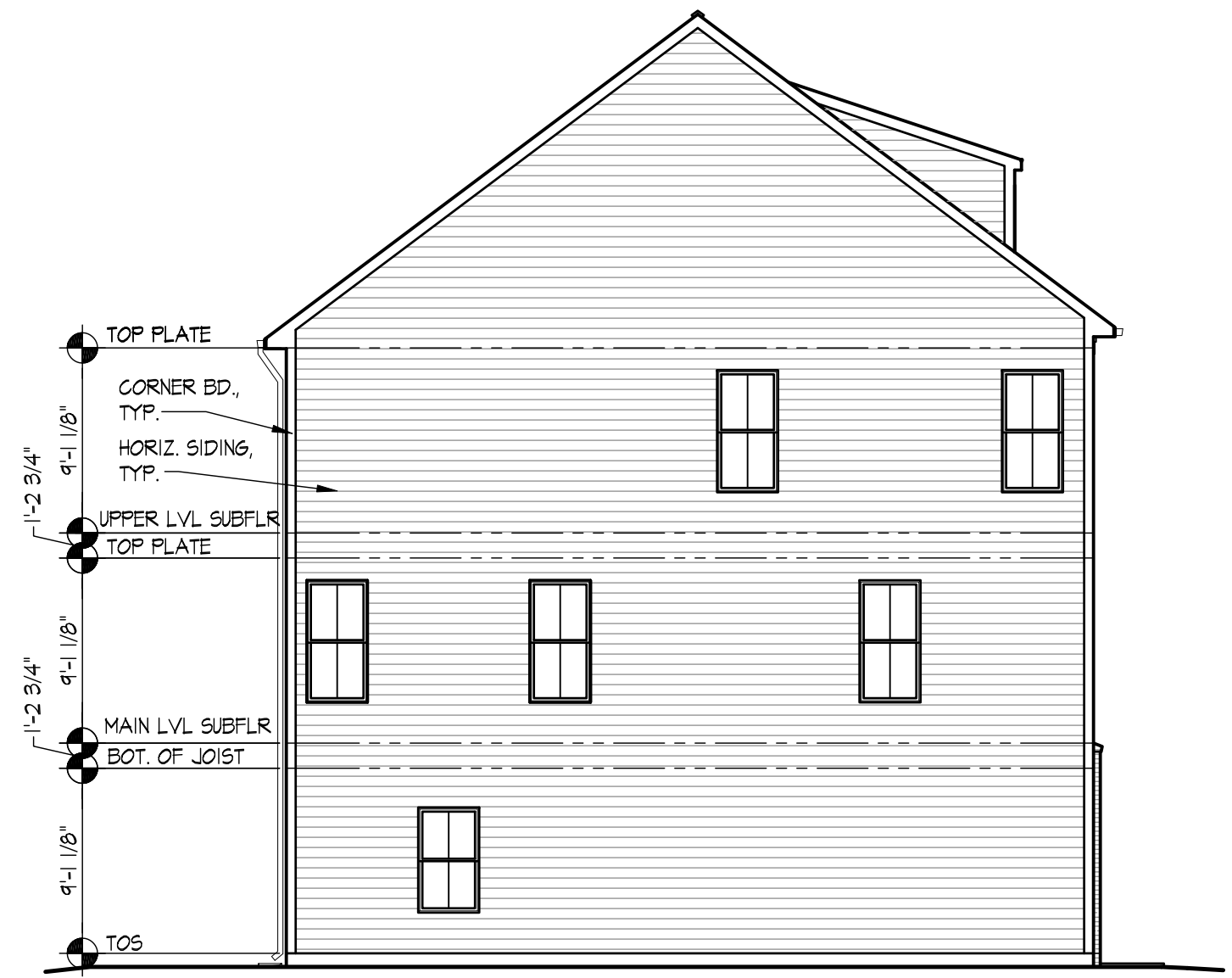
APPLICATION NAME: LINDY PROPERTY UMBRELLA
APPLICATION NO.: 025-18225
SIGNATURE APPROVAL OF THIS PLAN IS IN
ACCORDANCE WITH RESOLUTION
NO. 2020-05 DATED MAY 26, 2020

SIGNATURE APPROVAL, DATE:
Jill Kosack Digitally signed by
Date: 2020.05.20 09:09:04 -04'00'

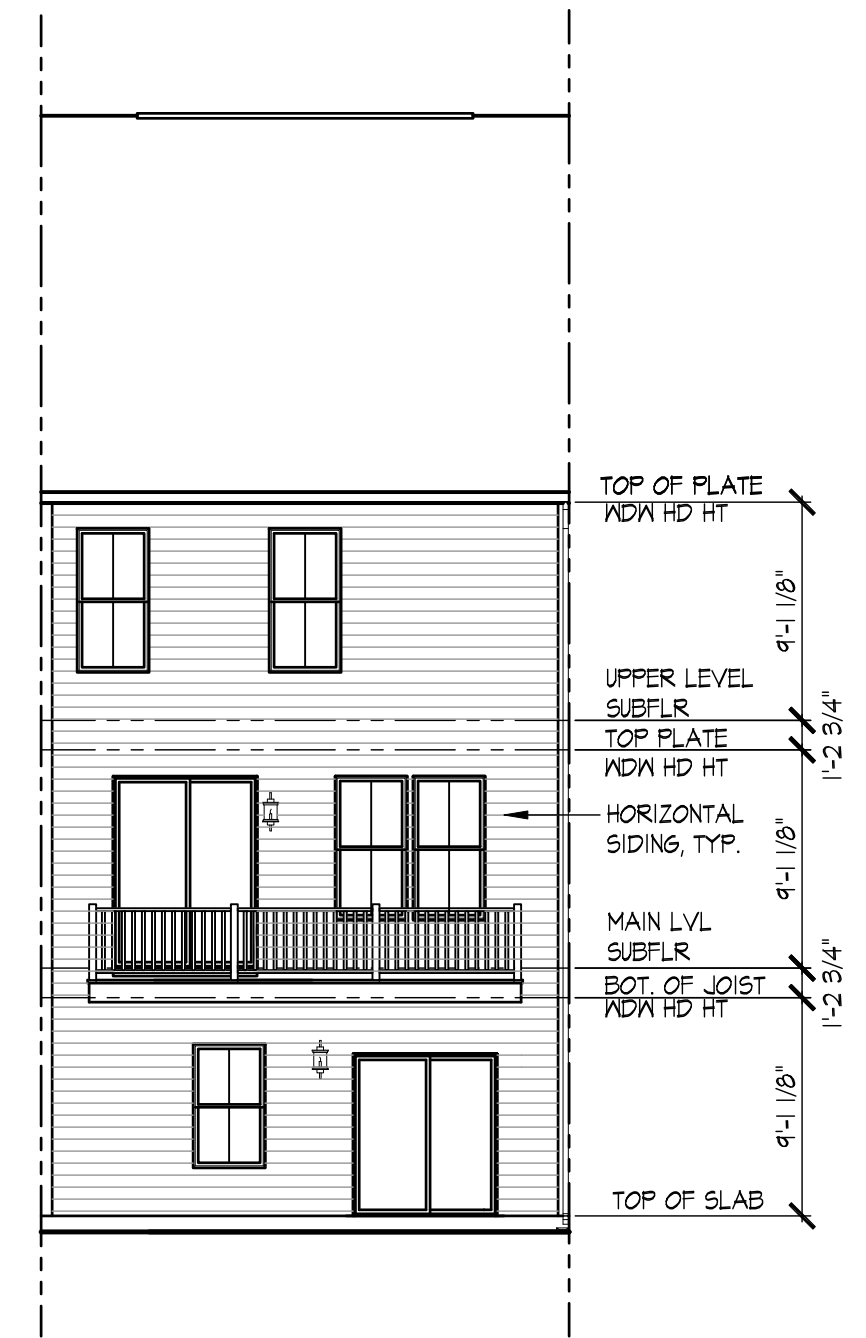
Mosaic at Hyattsville



3 SIDE ELEVATION W/ BRICK WATERTABLE
SCALE 1/8"=1'-0"
SHOWN W/ ELEV. "M"



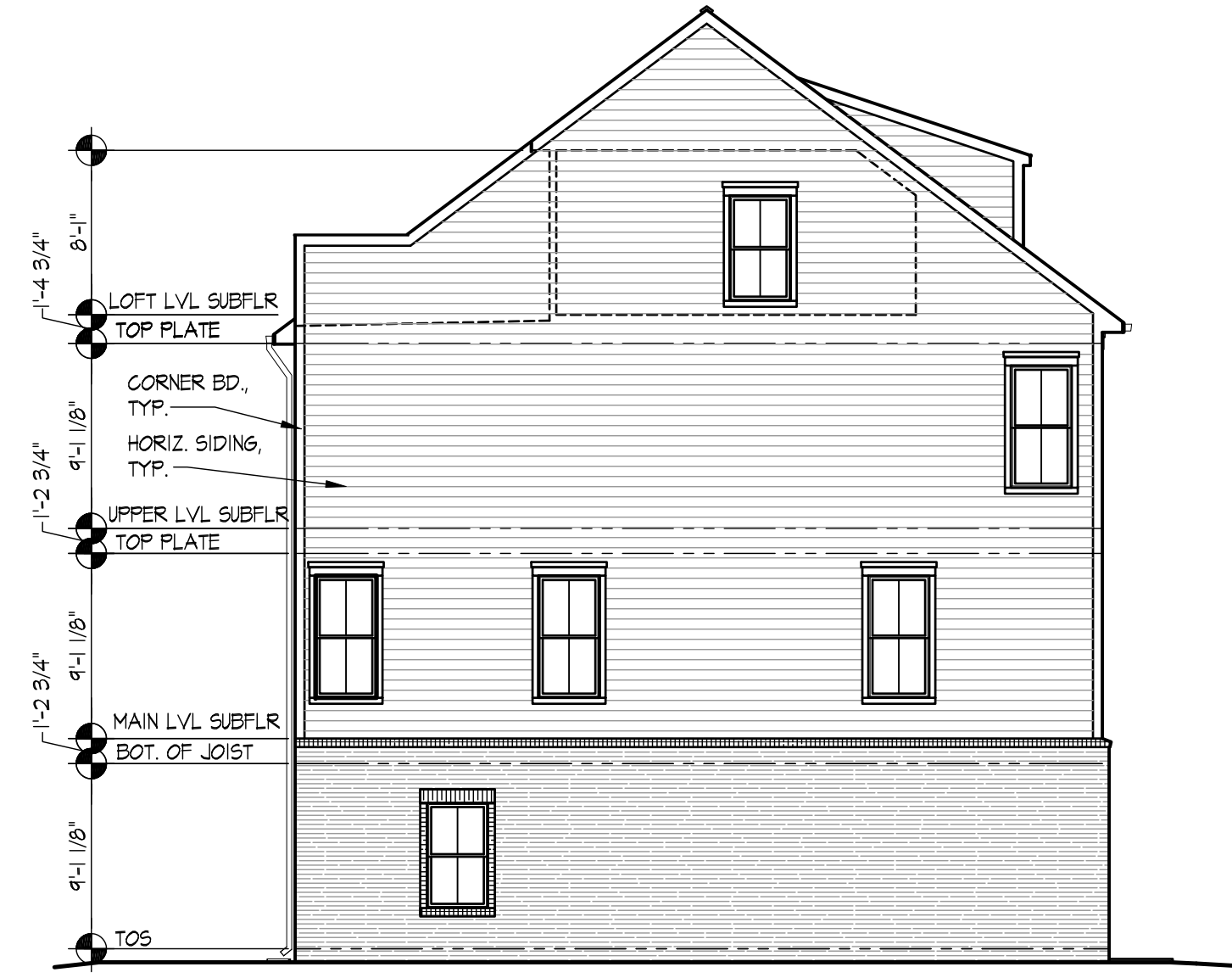
3 SIDE ELEVATION
SCALE 1/8"=1'-0"
SHOWN W/ ELEV. "M"



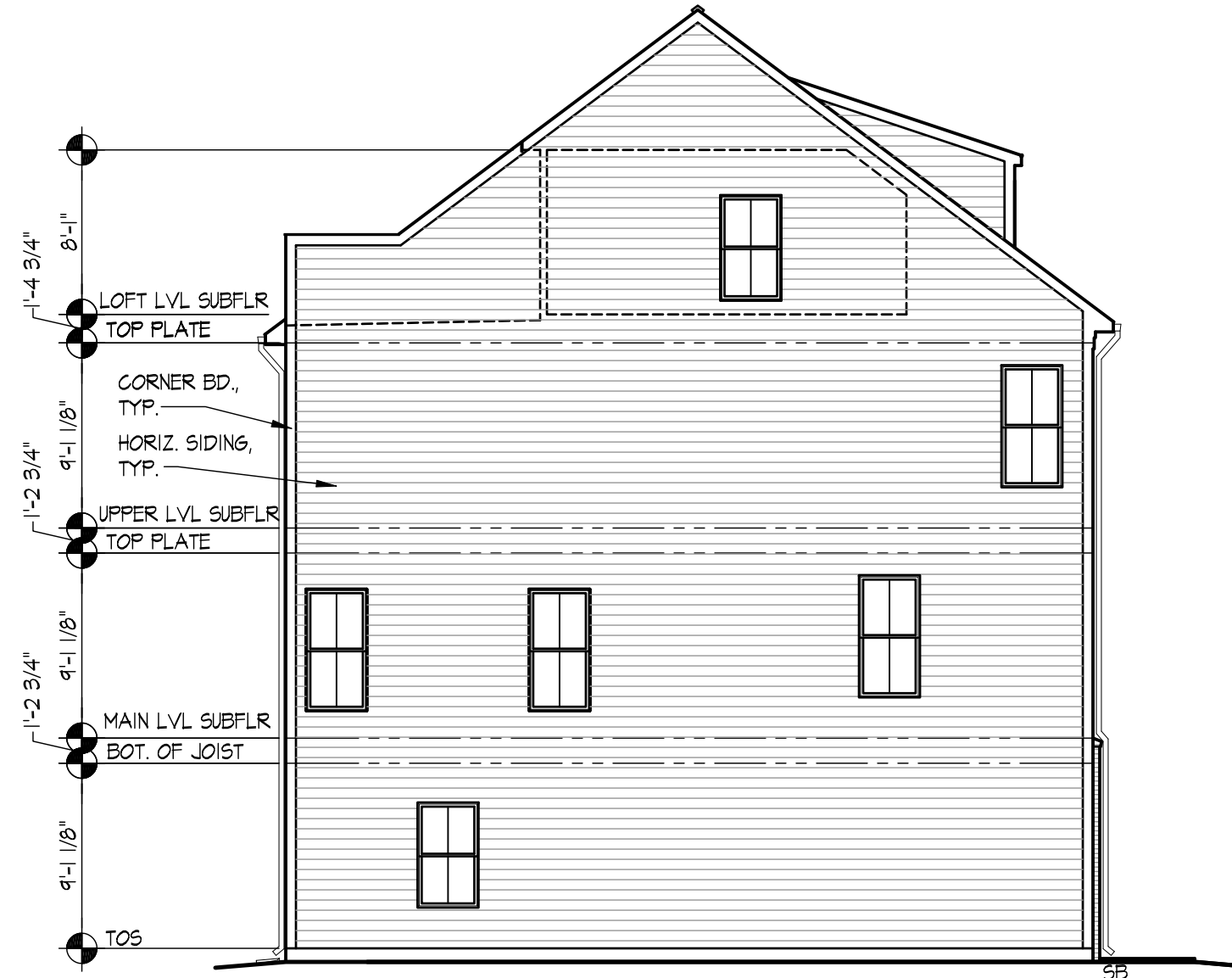
2 REAR ELEVATION
SCALE 1/8"=1'-0"
SHOWN W/ CANT'D DECK



2 REAR ELEVATION
SCALE 1/8"=1'-0"
SHOWN W/ POSTED DECK



3 SIDE ELEVATION W/ BRICK WATERTABLE
SCALE 1/8"=1'-0"
SHOWN W/ ELEV. "M" & OPT. LOFT/TERRACE



3 SIDE ELEVATION
SCALE 1/8"=1'-0"
SHOWN W/ ELEV. "M" & OPT. LOFT/TERRACE



2 REAR ELEVATION
SCALE 1/8"=1'-0"
SHOWN W/ CANT'D DECK & OPT. LOFT/TERRACE



2 REAR ELEVATION
SCALE 1/8"=1'-0"
SHOWN W/ POSTED DECK & OPT. LOFT/TERRACE

Decks optional on all front loaded plans

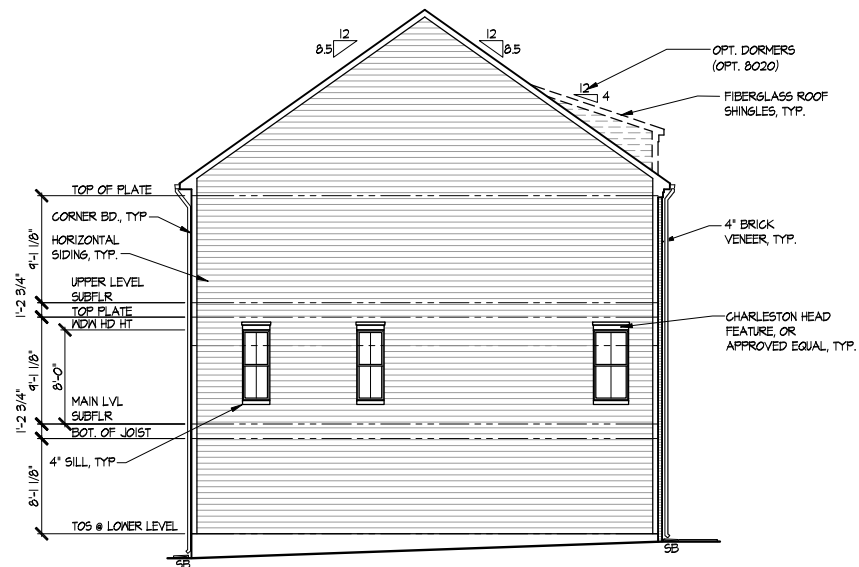
Louisa

22' Wide Front Load Garage TH's

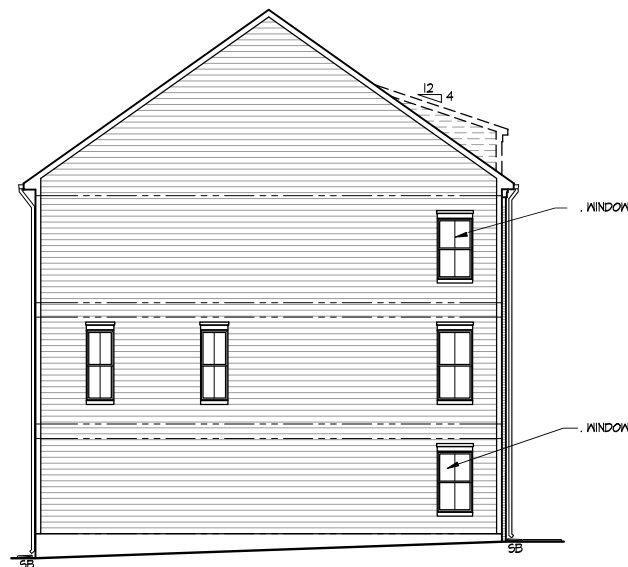
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LANDY PROPERTY UMBRELLA ARCHITECTURE
APPLICATION NO.: DSP-19020
SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH PGCRB RESOLUTION NO. 2020-05 DATED MAY 28, 2020.
SIGNATURE APPROVAL DATE: _____

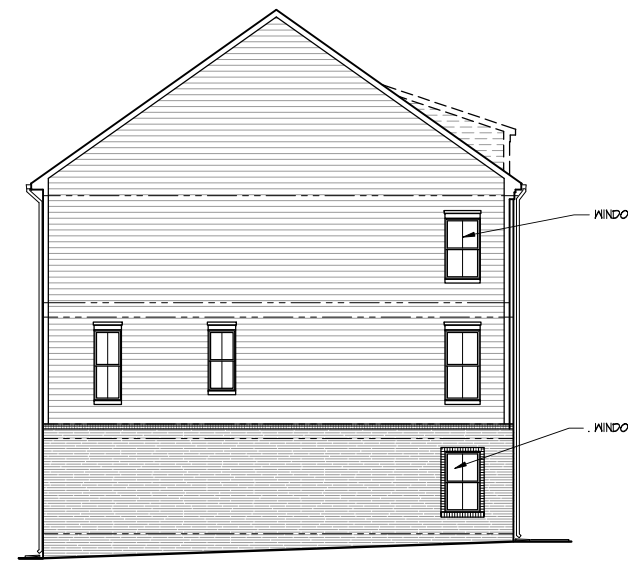
Jill Kosack
Date: 2020.09.10
090949-0400
AUTHORIZED SIGNATURE



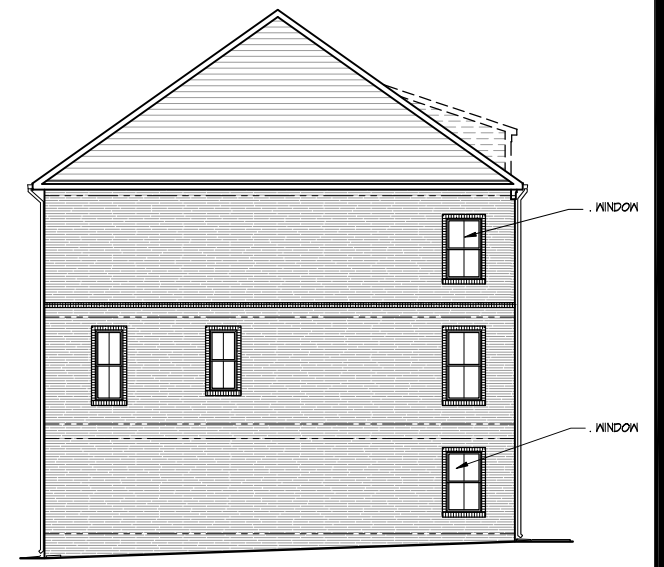
1 TYPICAL LEFT SIDE ELEVATION
SCALE 1/8"=1'-0"



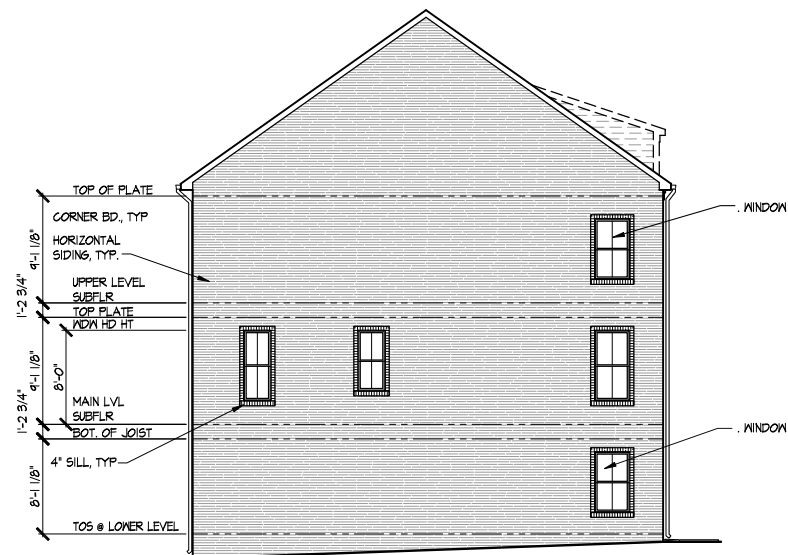
2 LEFT SIDE ELEV. "A" W/NEW(2) WINDOWS
SCALE 1/8"=1'-0"



3 LEFT SIDE ELEVATION W/ OPT. BRICK WATER TABLE & HIGH VISIBILITY
SCALE 1/8"=1'-0"



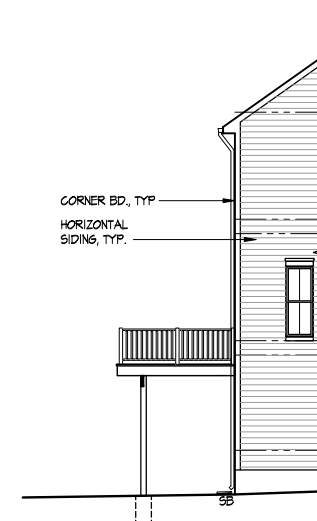
4 LEFT SIDE ELEVATION HIGH VISIBILITY W/BRICK OPT.
SCALE 1/8"=1'-0"



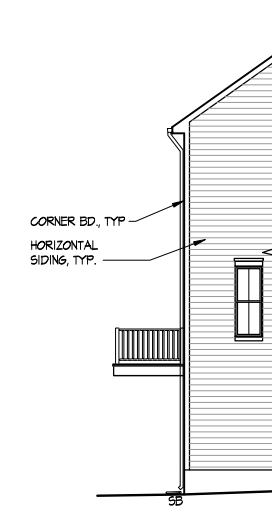
5 LEFT SIDE ELEVATION HIGH VISIBILITY/IMPACT W/BRICK & OPT. LOWER & UPPER LEVEL WINDOWS
SCALE 1/8"=1'-0"



6 LEFT SIDE ELEVATION W/ OPT. LOFT/TERRACE
SCALE 1/8"=1'-0" SHOWN W/ ELEV. "A"



7 PART. LEFT SIDE ELEVATION W/OPT. DECK 1
SCALE 1/8"=1'-0"



8 PART. LEFT SIDE ELEV. W/ OPT. DECK 2
SCALE 1/8"=1'-0"

Deck on Pillars or Cantilever Standard on All Rear Loaded Units

JENKINS
20' Wide Rear Load Garage TH's
SIDE ELEVATIONS

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION FOR OFFICIAL USE OR USE

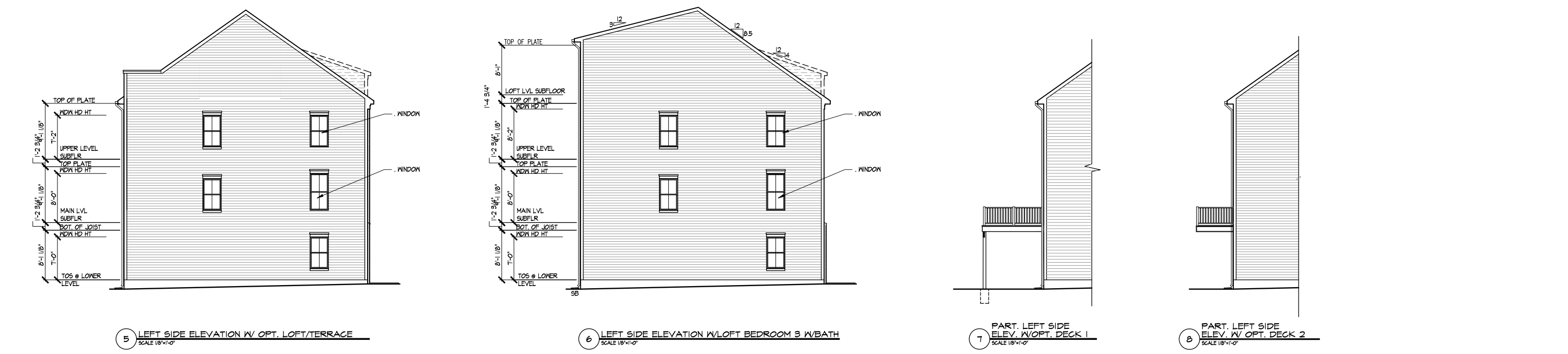
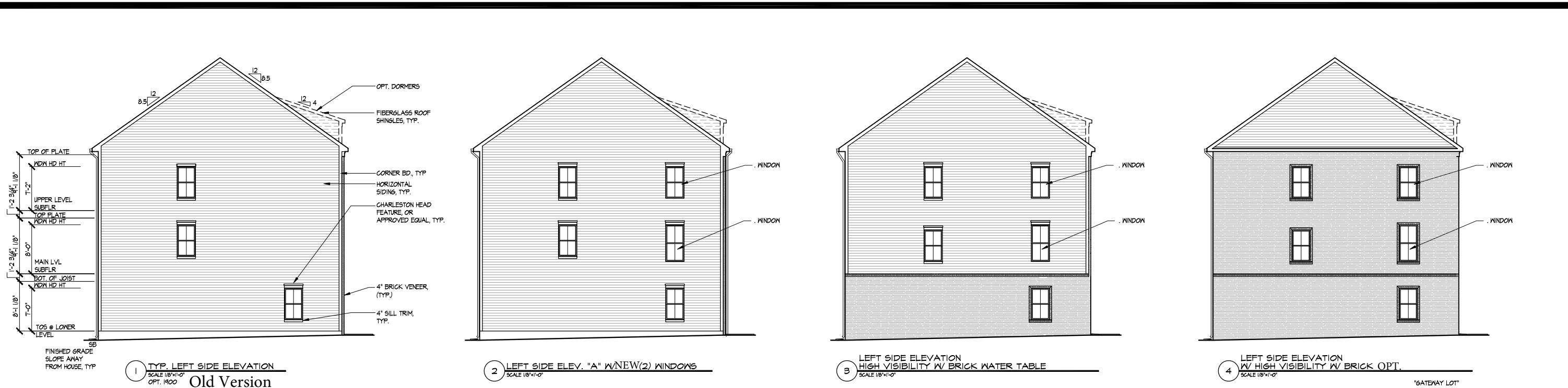
APPLICATION NAME: LINDY PROPERTY UMBRELLA ARCHITECTURE

APPLICATION NO.: DSP-19023

SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH CODES RESOLUTION NO. 2020-06 DATED MAY 28, 2020.

SIGNATURE APPROVAL DATE: Digitally signed by Jill Kosack Date: 2020.09.10 09:09:49 -0400

Authorized Signature



Deck with Pillars or Cantilever Standard on all Rear Loaded Units

HUGO
16' Wide Rear Load Garage TH's
SIDE ELEVATIONS

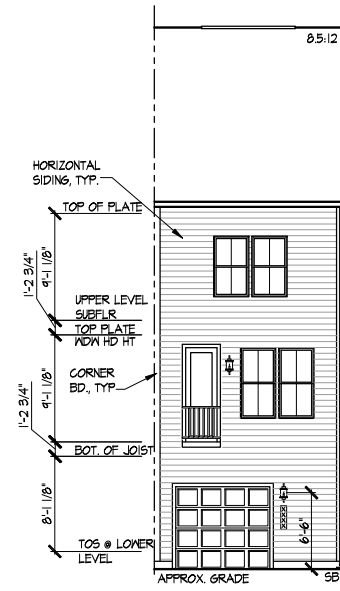
THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LANDY PROPERTY UMBRELLA
ARCHITECTURE

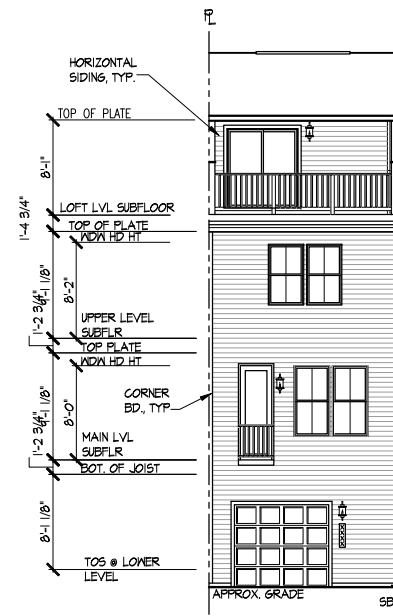
APPLICATION NO.: DSP-19020

SIGNATURE APPROVAL OF THIS PLAN IS IN
ACCORDANCE WITH PCO/PB RESOLUTION
NO. 2020-66 DATED MAY 28, 2020.

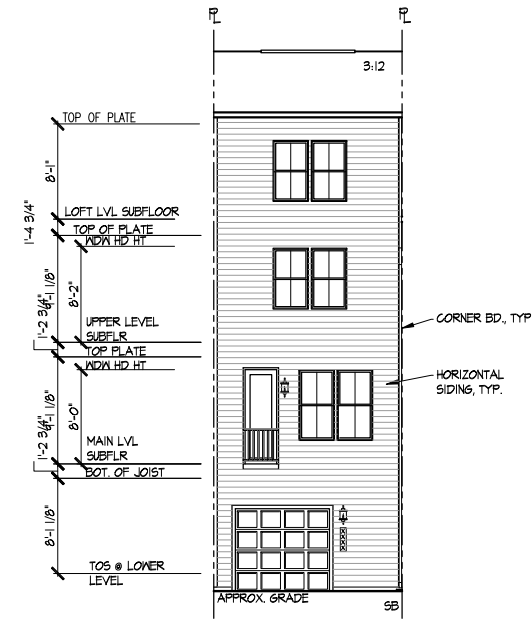
SIGNATURE APPROVAL DATE:
Digitally signed by
Jill Kosack
Date: 2020.09.10
09:09:59 -0400
Authentic Signature



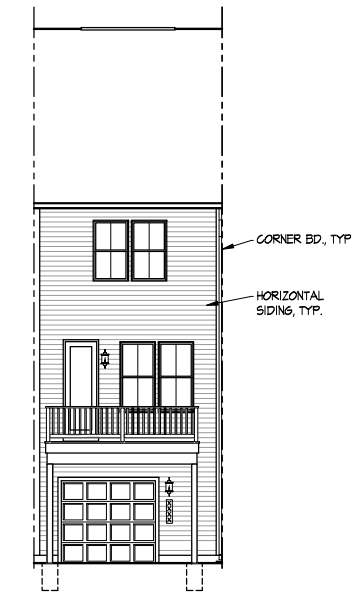
1 TYPICAL REAR ELEVATION
SCALE 1/8"=1'-0"



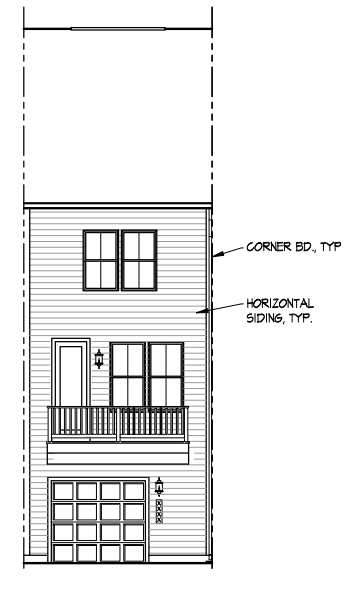
2 REAR ELEVATION W/OPT. LOFT/TERRACE
SCALE 1/8"=1'-0" SHOWN W/ ELEV. "A"



3 REAR ELEVATION W/ OPT. LOFT BEDROOM 3 WBATH
SCALE 1/8"=1'-0"



4 REAR ELEV. W/OPT. DECK 1
SCALE 1/8"=1'-0"



5 REAR ELEV. W/OPT. DECK 2
SCALE 1/8"=1'-0"

HUGO
16' Wide Rear Load Garage TH's
REAR ELEVATIONS

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: LANCY PROPERTY UMBRELLA ARCHITECTURE
APPLICATION NO.: DSP-19020
SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH PGCPA RESOLUTION NO. 2020-66 DATED MAY 26, 2020.
SIGNATURE APPROVAL DATE:
Jill Kosack
Digitally signed by Jill Kosack
Date: 2020.06.10 09:59:49 -0400
Authorized Signature