



Zoning and Administrative

County Administration Building, Room 1-200  
14741 Governor Oden Bowie Drive  
Upper Marlboro, Maryland 20772  
(301) 952-3220

**(USE BLACK INK ONLY)**  
**PLEASE READ ALL INSTRUCTIONS**  
**BEFORE FILLING OUT APPLICATION**



HEARING DATE \_\_\_\_\_

### APPLICATION FOR A VARIANCE

*(If variance is being applied for due to receipt of a Violation Notice, a copy of the notice is required.)*

For assistance in completing questions below, see corresponding paragraphs on *Instructions to Applicants*, which is designed to help you fill out this form.

Owner(s) of Property Rivas, Douglas C  
(AS SHOWN ON DEED)  
Address of Owner(s) 3510 Lancer Dr  
City Hyattsville State MD Zip Code 20782  
Telephone Number (home) \_\_\_\_\_ (cell) 240-559-8191 (work) \_\_\_\_\_  
E-mail address: Jennlika@icloud.com Jennlika@icloud.com

**Location and Legal Description of the Property involved:**

Street Address 3510 Lancer Dr  
City Hyattsville MD 20782  
Lot(s) 4 Block 1 Parcel 0000  
Subdivision Name \_\_\_\_\_

**Professional Service:**

▶ Engineer ▶ Contractor ▶ Architect: (if different from above): (circle one)

Name: N/A Phone Number: \_\_\_\_\_  
Address: \_\_\_\_\_ Email Address: \_\_\_\_\_

**Attorney representing applicant: (If applicable)**

Name: N/A Phone Number: \_\_\_\_\_  
Address: \_\_\_\_\_ Email Address: \_\_\_\_\_



Association Name(s) & Address(es) (Homeowners/Citizens/Civic and/or Community):

Name: N/A

Address: \_\_\_\_\_

Municipality (Incorporated City/Town)

Name: Hyattsville

What will be or has been constructed on the property which has required a variance?

100' x 26'-0" Shed, 16'-0" x 9'-8" Breezeway

Has a Violation Notice / Stop Work Order /Correction Notice been issued to the Property Owner regarding this property?

No \_\_\_\_\_ Yes \_\_\_\_\_ Date Issued: 3/14/2022 Violation Notice No. # 9144-2022-0  
Inspector's Name: K. Harrison

Do you need the services of a foreign language interpreter at your hearing? (\$30.00 fee required)

Yes \_\_\_\_\_ No  Foreign Language: \_\_\_\_\_

[Signature]  
Signature of Owner/Attorney

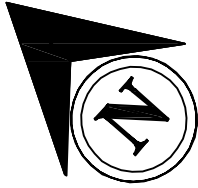
Douglas C. Rivas  
Printed Name

**IMPORTANT:**

Failure to provide complete and accurate information on this application may delay or jeopardize consideration of the request. Applications on which all required information is not furnished will be returned for completion before processing.

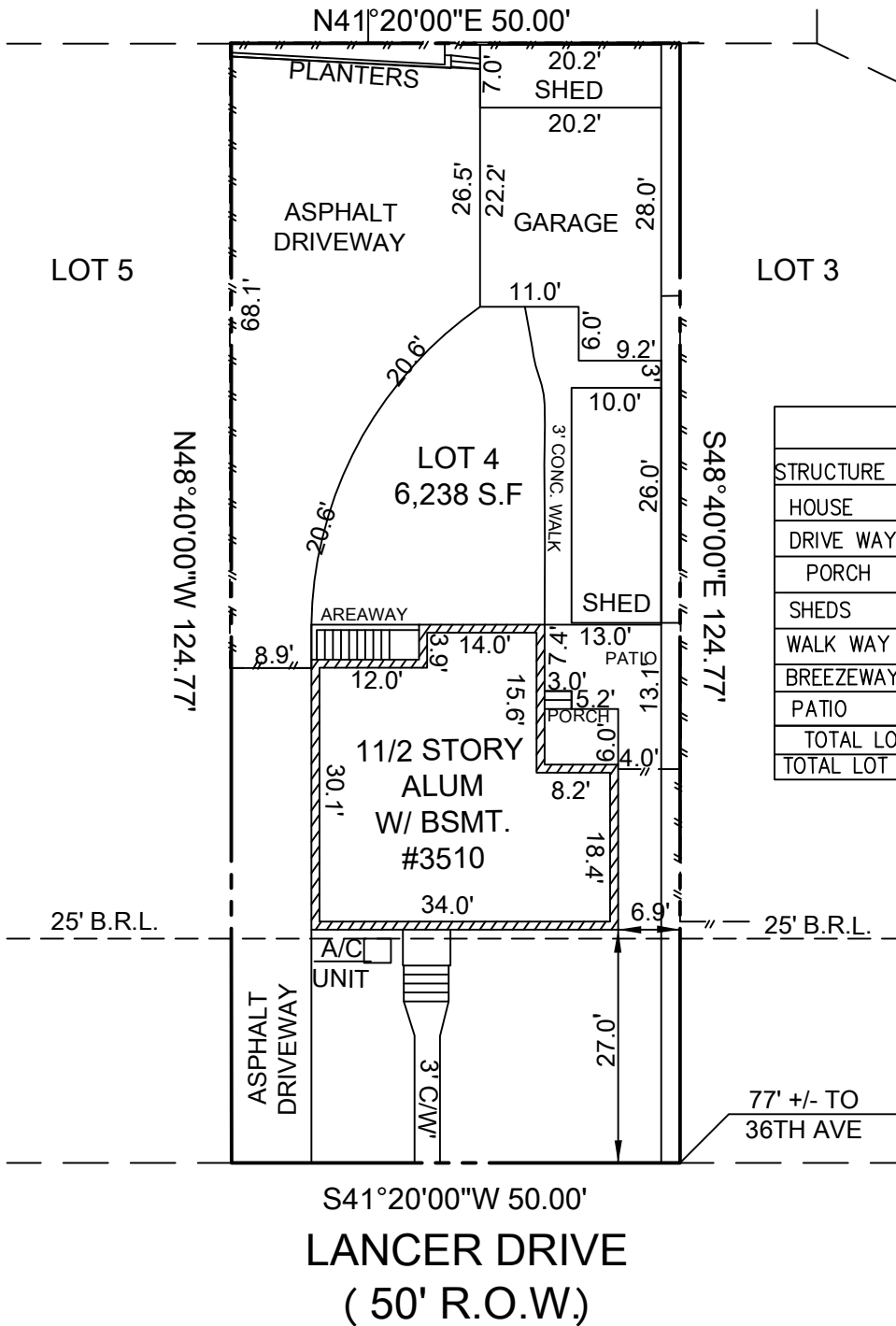
Approval of a variance is not a guarantee that further review will not be necessary by other governmental authorities. For further information regarding Board of Zoning Appeals policies and procedures, see Sections 27-229 through 27-234 of the County Zoning Ordinance and/or the Board's website at <http://pgccouncil.us/>.

ADDRESS: 3510 LANCER DRIVE  
HYATTSVILLE, MD 20782



LOT 27

LOT 28



| LOT COVERAGE                  |                     |             |
|-------------------------------|---------------------|-------------|
| STRUCTURE                     | DIMENSIONS          | SQUARE FOOT |
| HOUSE                         | 30'X34'             | 988         |
| DRIVE WAY                     | 8.9'X123'/68'X27.7' | 2,977       |
| PORCH                         | 50'+21'             | 71          |
| SHEDS                         | 7'X20.2' 10'X26'    | 401         |
| WALK WAY                      | 3'X18'              | 54          |
| BREEZEWAY                     | 3'X10'              | 30          |
| PATIO                         | 13'X13'             | 170         |
| TOTAL LOT COVERAGE            |                     | 4,691       |
| TOTAL LOT COVERAGE PERCENTAGE |                     | 75.2%       |

**NOTES:**

1. THIS IMPROVEMENT LOCATION DRAWING:
2. THIS PLAT WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.
3. SUBJECT TO ALL EASEMENTS ON RECORD AND IMPROVEMENTS ON PROPERTY. THE PLAT IS SUBJECT TO RESTRICTION ON RECORD.
4. THIS SURVEY IS NOT TO BE USED AS A PLAT TO ESTABLISH PROPERTY LINES OR TO CONSTRUCT ANY PERMANENT STRUCTURES ON THE PROPERTY.
5. FENCE LOCATION, IF SHOWN, ARE APPROXIMATE AND DO NOT CERTIFY AS TO OWNERSHIP.
6. SDA, LLC ASSUMES NO RESPONSIBILITY FOR CHANGES MAY ACCUR TO THIS PLAT AFTER THE DATE OF SIGNATURE BY THE LICENCED SURVEYOR.

SCALE 1" = 20'

DRAWN BY: CE

I HEREBY CERTIFY THAT BOUNDARY SURVEY PLAT LOCATED AS SHOWN HEREON IS TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF,



9/21/22  
DATE

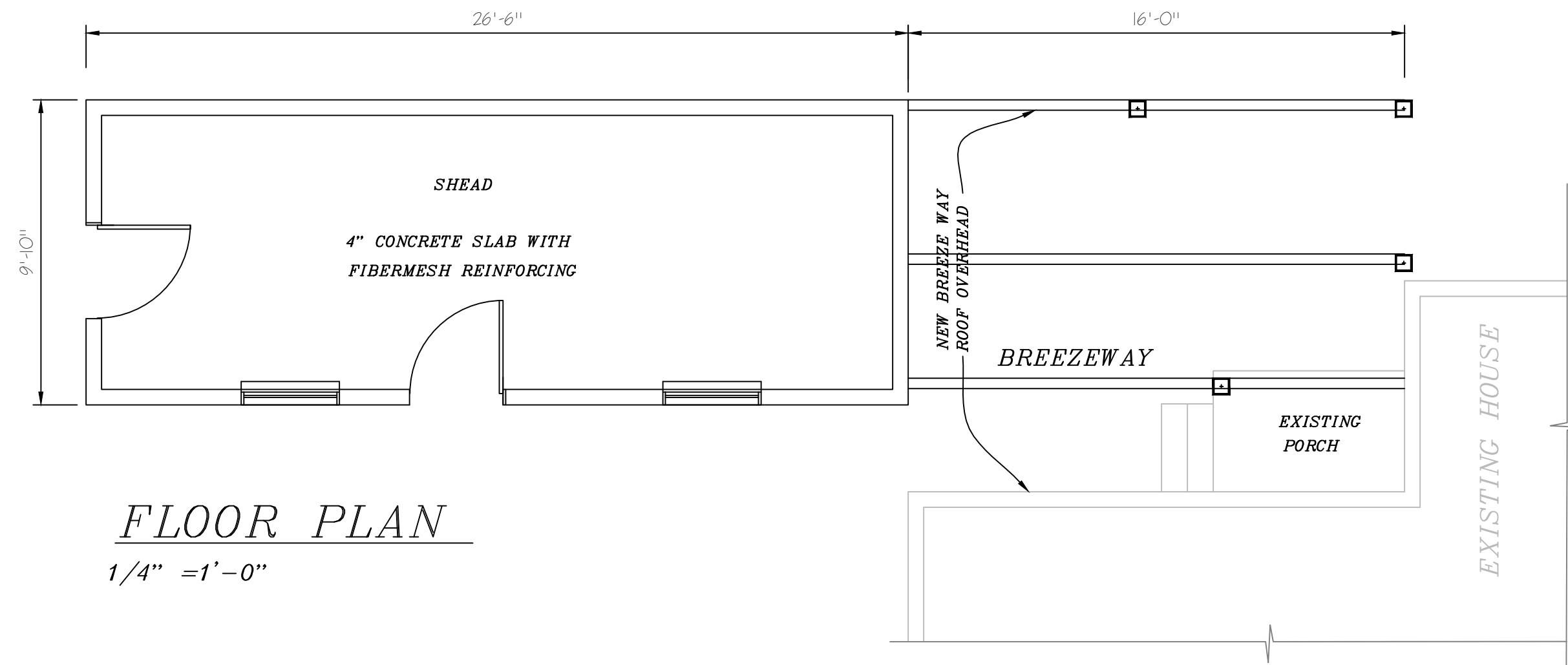
SURVEYOR

LOCATION DRAWING  
BLOCK 1 LOT4  
SUBDIVISION: CLEARWOOD  
ELECTION DISTRICT 16  
PRINCE GEORGE'S COUNTY MARYLAND

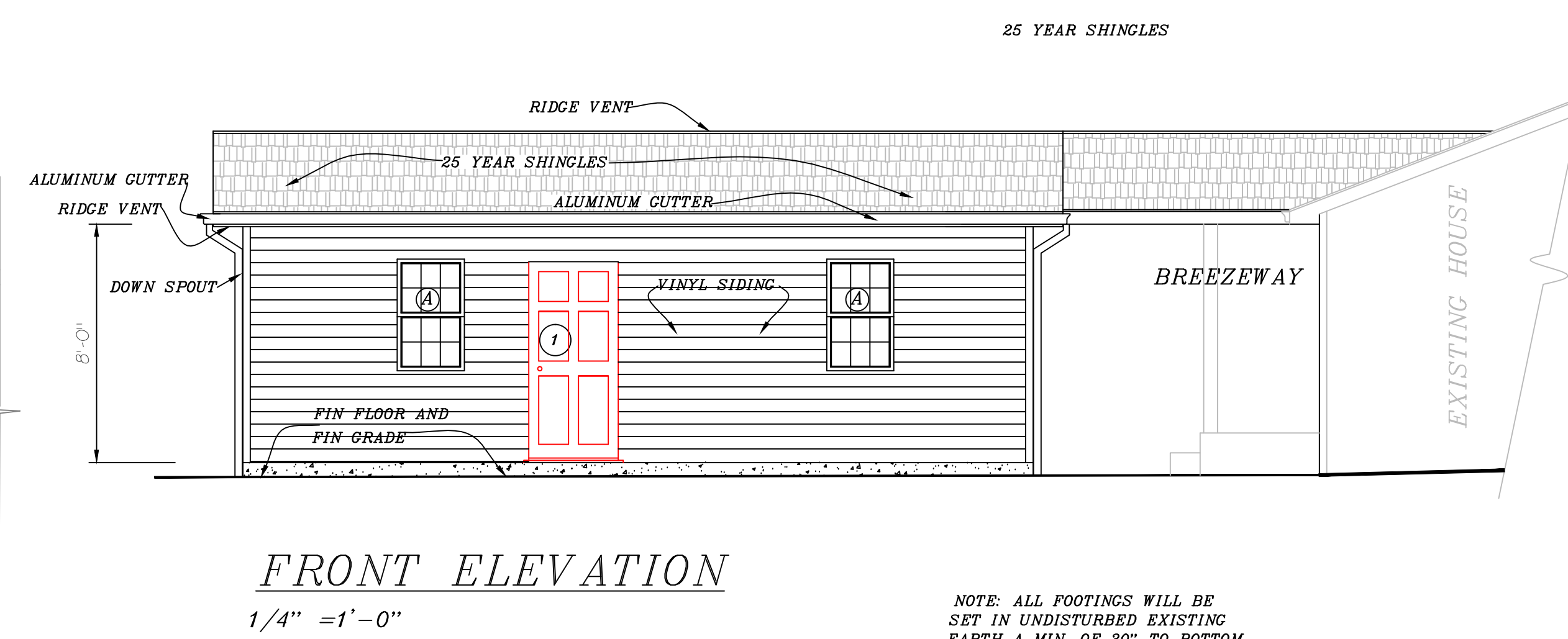
|        |        |                                 |
|--------|--------|---------------------------------|
| PLAT # | BB7@65 | PROPERTY OWNER: DOUGLAS C. RIVA |
|--------|--------|---------------------------------|

**SURVEYORS DEVELOPMENT & ASSOCIATES LLC**  
LAND SURVEYORS\* ENGINEERS\* PLANNERS\*  
WWW.SURVEYORSDALLC.COM  
email:surveyorsdallc@gmail.com PHONE# 301-919-3639  
3230 CHILLUM ROAD  
MOUNT RAINIER MD, 20712

2  
V-57-22



**FLOOR PLAN**  
1/4" = 1'-0"



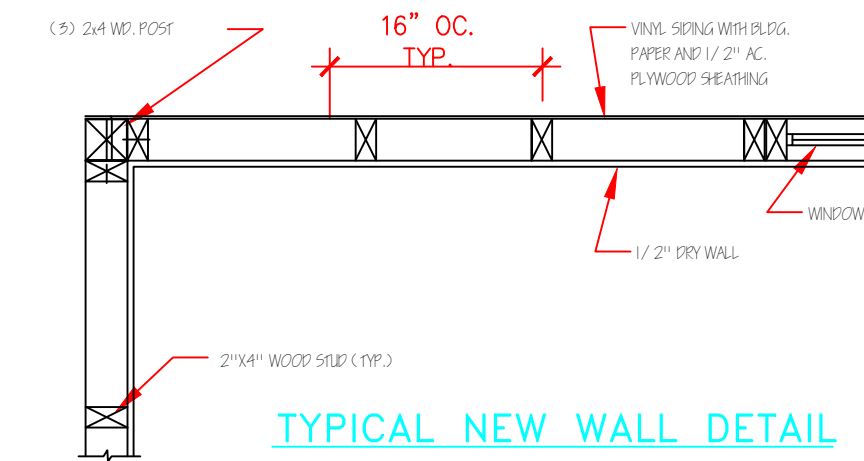
**FRONT ELEVATION**  
1/4" = 1'-0"

NOTE: ALL FOOTINGS WILL BE SET IN UNDISTURBED EXISTING EARTH A MIN. OF 30" TO BOTTOM OF CONCRETE.

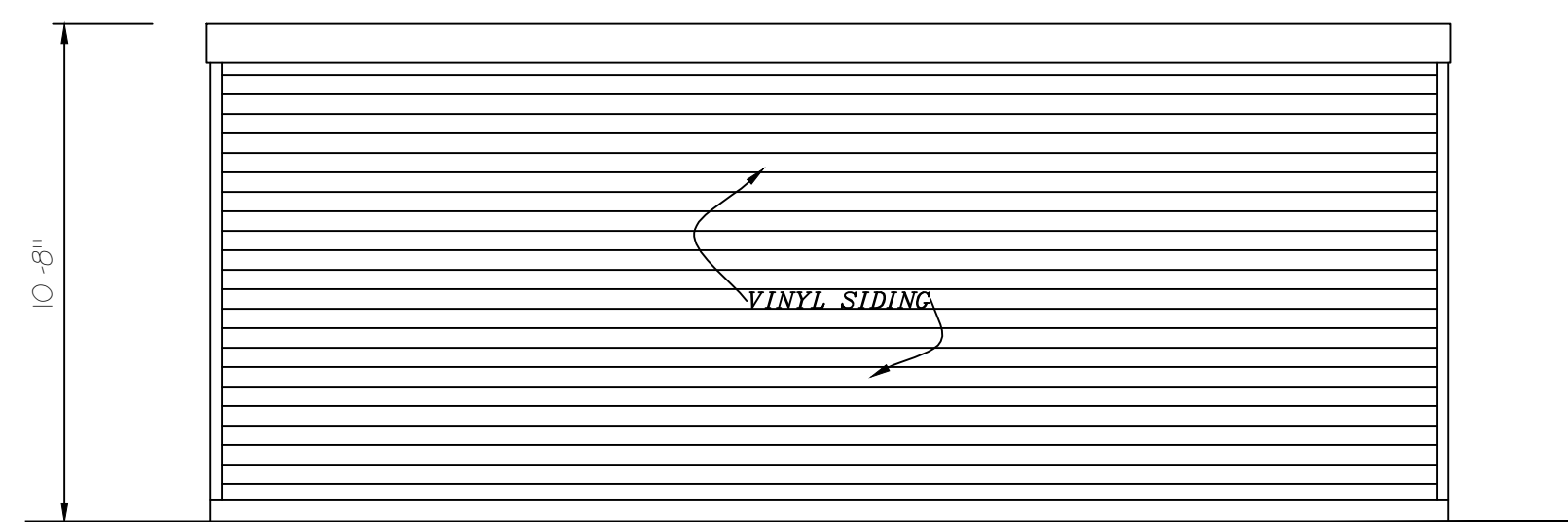
WINDOW TYPE-A  
1'-10" X 2'-11" VINYL  
DOUBLE HUNG  
WITH OPTIONAL SHUTTERS

DOOR NO. 1  
3'-0" X 6'-8" X 1-3/4"  
SOLID WITH GLAZING

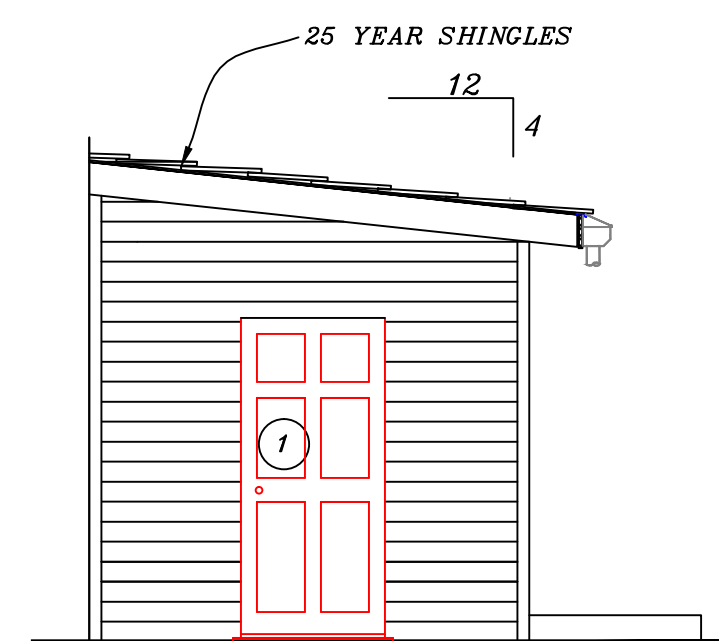
**WALL BRACING NOTE:**  
FASTEN ALL WALL SHEATHING TO FRAMING MEMBERS WITH 8 d NAILS SPACED 6" O.C. AT PANEL ENDS AND 12" O.C. AT INTERMEDIATE SUPPORTS



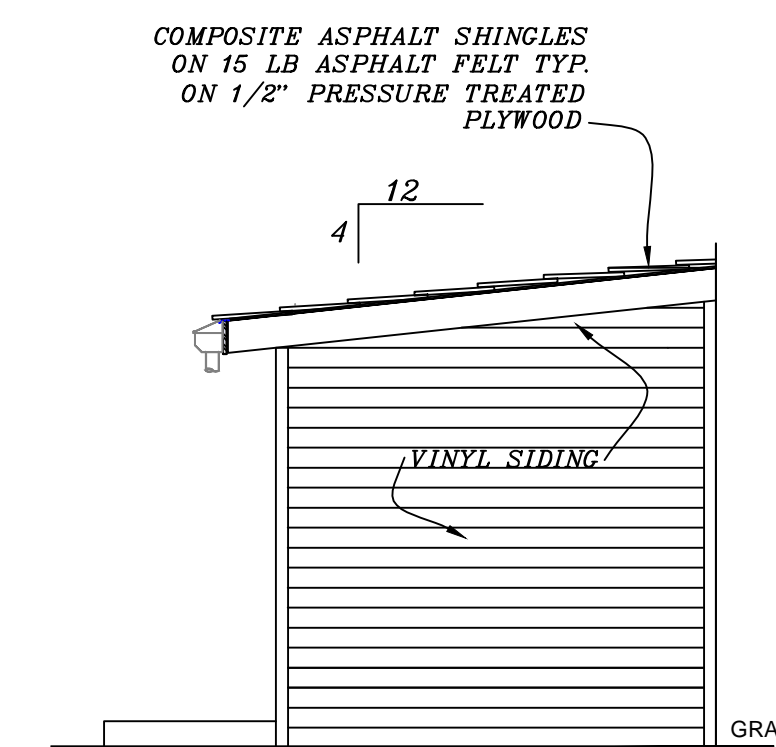
TYPICAL NEW WALL DETAIL



**REAR ELEVATION**  
1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
1/4" = 1'-0"



**RIGHT SIDE ELEVATION**  
1/4" = 1'-0"

EXH. # 3(a-d)  
V-57-22

**ARCHITECTURAL DRAWINGS**  
"House Plans For All Budgets, All Tastes, All Sites."  
1516 W. KERSEY LN  
POTOMAC MD  
GILBERT E. 301 613 1139

**CONSTRUCTION PLANS**

**New shed**  
3510 Lancer Dr. - Hyattsville, MD 20782

|                           |      |             |
|---------------------------|------|-------------|
| JOB NO. 4482              |      |             |
| REVISION #                | DATE | DESCRIPTION |
| △                         |      |             |
|                           |      |             |
|                           |      |             |
| SCALE: 1/4" = 1'-0" PAGE: |      |             |
| DRAWN BY: GILBERT E.      |      |             |
| DATE: 04-20-22            |      |             |

# New shead

3510 Lancer Dr. - Hyattsville, MD 20782

## GENERAL NOTES

1. THE CONSTRUCTION DOCUMENTS AND DESIGN CRITERIA SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (2018 EDITION) AND INTERNATIONAL ENERGY CODES COUNCIL (2018 EDITION)
2. LIVE LOADS  
ROOF: SNOW LOAD: LIVE LOAD: 50 PSF, DEAD LOAD: TOP CHORD: 5 PSF, DEAD LOAD: BOTTOM CHORD: 10 PSF  
WIND SPEED: 90 MPH → SECOND GUST,  
FLOOD: MIN. PSF SOIL BEARING CAPACITY.
3. CONCRETE: ALL CONCRETE SHALL BE MIXED & PLACED IN ACCORDANCE WITH THE A.C.I. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 908-77). CONCRETE SHALL ACHIEVE 28-DAY COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI.
4. FLOORING: FLOORING SHALL BE PLACED ON UNDERLAYS/ SOIL AND SHALL EXTEND INTO THE UNDERLAYS/ SOIL A MINIMUM OF 1'-0" BOTTOM OF FLOORING SHALL BE 2'-0" MIN. BELOW FINISH GRADE.
5. WELDING: ALL WELDING SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AMERICAN WELDING SOCIETY.
6. REINFORCING STEEL: REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A618 GRADE 60.
7. ALL WOOD JOBS SHALL BE TREATED FOR TERMITES.
8. THE SPECIES/ GRADES FOR LUMBER SHALL BE SPECIFIED PER IRC 11.
9. ALL NOTES ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT THE PLANS.
10. PROVIDE ENGINEERED SHOP DRAWINGS FOR ALL ENGINEERED ROOF ROOF TO THE FIELD INSPECTOR.
11. ALL FIELD CONDITIONS MUST BE PER THE ROOFER/ COOR. OF THE SUBMITTALS. PROVIDES THE USER MUST BE PER THE MANUFACTURER AND DOCUMENTATION MUST BE PROVIDED TO THE FIELD INSPECTOR.
12. FOR JOINTS, BEAMS & CONNECTIONS METHODS, SEE IRC 2018 MISC. 14.1
13. ELECTRICAL SHALL BE LOCATED IN BULKHEAD WITH R-6 INSULATION ON THE EXTERIOR OF SUPPLY VOLTAGE.
14. FOR BUILDING LEAKAGE USE OUTDOOR SEALANT ON PANELS 250, WHICH EXCEEDS ASTM C 920 CLASS 25 & ASTM 284 TYPE C, GRADE NS.
15. IF ANY FUEL-BURNING APPLIANCE IS INSTALLED IN THE EXISTING DWELLING OWNER/ CONTRACTOR SHALL INSTALL CARBON MONOXIDE ALARM ON OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS. IRC 2018 210.5.

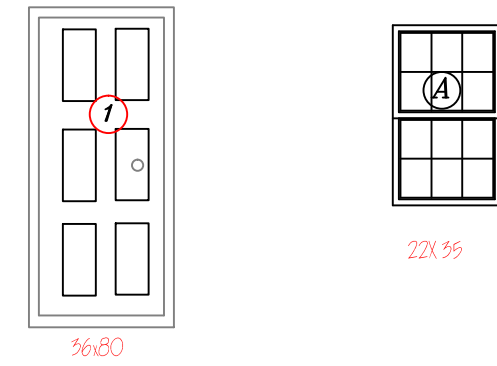
## BRACING WALL PANEL NOTES

1. RECOGNIZE CONTINUOUS SHEATHING METHOD- BRACE WALL PANELS: CONTINUOUS SHEATHING METHOD REQUIRES SELECTED PANEL SHEATHING TO BE USED ON ALL SHEATHING SURFACES ON ONE SIDE OF A BRACED WALL INCLUDING HEADS ABOVE AND BELOW OPENINGS AND GABLE END WALLS. PANEL SHALL BE OF A 48" WIDTH MIN. THICKNESS OF 5/8" FOR STUDS @ 16" O.C. MAX. HEIGHT OF 10', BRACE WALL PANELS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE METHOD SHOWN ON SCHEDULE.
2. PROVIDE BRACE TO BE DOWNSPACE AT THE EDGE OF PANELS CLOSE TO THE CORNER OF THE FLOOR FRAMING.

## DRAWING INDEX

- COVER SHEET , NOTES, LIST OF DRAWINGS**
- A-1 FIRST FLOOR PLAN & COVER SHEET**
  - S-1 FRAMING / WALL SECTION**
  - S-2 SECTION**

## DOOR SCHEDULE



| RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS |            |                         |                   |                 |                   |                   |                     |                                 |              |               |                   |
|--|------------|-------------------------|-------------------|-----------------|-------------------|-------------------|---------------------|---------------------------------|--------------|---------------|-------------------|
| GROUND SNOW LOAD                           | WIND SPEED | SEISMIC DESIGN CATEGORY | SUBJECT TO DAMAGE |                 |                   |                   | WINDER DESIGN TEMP. | ICE SHEED UNDERLAYMENT REQUIRED | FLOOD HAZARD | A/E FZ. INDEX | MEAN ANNUAL TEMP. |
|  |            |                         | WEATHERING        | ROOF LINE TEMP. | BRIDGE            | DECAY             |                     |                                 |              |               |                   |
| 50 PSF                                     | 115 MPH    | B                       | SEVERE            | NO IN.          | NOZEPRE (2) HEAVY | SLEEP TO BEDROOMS | 15° F               | YES                             | JULY 2, 1979 | 500           | 55° F             |

| MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS |           |
|--|-----------|
| USE                                      | LIVE LOAD |
| ARTIC. WAREHOUSE STORAGE                 | 10        |
| DECKS                                    | 60        |
| GAZEBOES & PATIOES                       | 200       |
| ROOMS OTHER THAN SLEEPING ROOMS          | 40        |
| STAIRS                                   | 40        |
| SLEEPING ROOMS                           | 30        |

## SYMBOLS AND ABBREVIATIONS

**DETAIL / SECTION REFERENCE SYMBOLS**

**INTERIOR ELEVATION REFERENCE**

**WINDOW SYMBOL**

**FLOOR LEVEL**

**PARTITION OR WALL TYPE**

**WOODEN 2"x4" STUDS**

**WOOD, FINISHED**

**BAT INSUL. OR SOUND ATTENUATION BLANKET**

**GYPSUM BOARD**

**WALK-IN FREEZER**

**BRICK**

**EARTH**

**EXISTING CONSTRUCTION TO REMAIN**

**NEW CONSTRUCTION**

**WALL OR EQUIPMENT BE DEMOLISHED**

**SMOKE DETECTOR**

**FAN No. 1**

**AT ABOVE FINISHED FLOOR**  
**A.F.F. ABOVE FINISHED GRADE**  
**ABV. ABOVE**  
**ACOUST. ACOUSTICAL**  
**ADJ. ADJUSTABLE**  
**ALUM. ALUMINUM**  
**APPROX. APPROXIMATE**  
**B.R.L. BUILDING RESTRICTION LINE**  
**BD. BOARD**  
**BEL. BELOW**  
**BET. BETWEEN**  
**BLDG. BUILDING**  
**BLK. BLOCK**  
**BLKG. BLOCKING**  
**BM. BEAM**  
**BOT. BOTTOM**  
**C.M.U. CONCRETE MASONRY UNIT**  
**C.T. CERAMIC TILE**  
**CAB. CABINET**  
**CEM. CEMENT**  
**CER. CERAMIC**  
**CL. CENTER LINE**  
**CLG. CLOSURE**  
**CLO. COLUMN**  
**COL. CONCRETE**  
**CONC. CONNECTION**  
**CONST. CONSTRUCTION**  
**CONT. CONTINUOUS**  
**CONTR. CONTRACTOR**  
**COORD. COORDINATE**  
**CORR. CORRUGATED**  
**CPT. CARPET**  
**CTR. CENTER**  
**D/W DISHWASHER**  
**DBL. DOUBLE**  
**DET. DETAIL**  
**DEMO DEMOLITION**  
**DIA. DIAMETER**  
**DIM. DIMENSION**  
**DISP. DISPOSAL**  
**DN. DOWN**  
**DR. DOOR**  
**DWG. DRAWING**  
**EACH EACH**  
**ELEV. ELEVATION**  
**ELECT. ELECTRICAL**  
**EQ. EQUAL**  
**OPPG. OPPOSITE**  
**P.LAM. PLASTIC LAMINATE**  
**P.R. POWDER ROOM**  
**P.T. PRESSURE TREATED**  
**PANT. PANTRY**  
**PART. PARTITION**  
**PL. PROPERTY LINE**  
**PLT. PLATE**

**F.P. FIREPLACE**  
**F.V. FIELD VERIFY**  
**FDN. FOUNDATION**  
**FIN. FINISH**  
**FLR. FLOOR**  
**FLUOR. FLUORESCENT**  
**FT. FOOT**  
**FTG. FOOTING**  
**GA. GAUGE**  
**GALV. GALVANIZED**  
**GEN. GENERAL**  
**GFL. GROUND FAULT INTERRUPTER**  
**GL. GLASS**  
**GYP. GYPSUM**  
**GYP. BD. GYPSUM BOARD**  
**H.M. HOLLOW METAL**  
**HD. HEAD**  
**HDW. HARDWARE**  
**HGT. HEIGHT**  
**HORIZ. HORIZONTAL**  
**IN. INCH**  
**INSUL. INSULATION**  
**INT. INTERIOR**  
**J.B. JUNCTION BOX**  
**JT. JOINT**  
**KIT. KITCHEN**  
**L.H. LEFT HAND**  
**LAM. LAMINATE**  
**LAV. LAVATORY**  
**LOC. LOCATION**  
**LT. LIGHT**  
**M.O. MASONRY OPENING**  
**MAX. MAXIMUM**  
**MECH. MECHANICAL**  
**MET. METAL**  
**MFR. MANUFACTURER**  
**MIN. MINIMUM**  
**MTD. MOUNTED**  
**N.O. NOT IN CONTRACT**  
**N.I.C. NOT TO SCALE**  
**NAT. NATIONAL**  
**NEC. NECESSARY**  
**NO. / # NUMBER**  
**NOM. NOMINAL**  
**O.A. OVER ALL**  
**O.C. ON CENTER**  
**OGE. OPENING**  
**OPP. OPPOSITE**  
**P.LAM. PLASTIC LAMINATE**  
**P.R. POWDER ROOM**  
**P.T. PRESSURE TREATED**  
**PANT. PANTRY**  
**PART. PARTITION**  
**PL. PROPERTY LINE**  
**PLT. PLATE**

**PLAS. PLYWOOD**  
**POL. POLISHED**  
**PORC. PORCELAIN**  
**PR. PAIR**  
**PSF. POUNDS PER SQUARE FOOT**  
**PTD. PAINTED**  
**PVC. POLYVINYL CHLORIDE**  
**Q.T. QUARRY TILE**  
**R. RISER**  
**R.A. RETURN AIR**  
**R.C.P. REFLECTED CEILING PLAN**  
**R.H. RIGHT HAND**  
**R.O. ROUGH OPENING**  
**R.&S. ROD AND SHELF**  
**RAD. RADIUS**  
**REF. RECESSED**  
**REF. REFRIGERATOR**  
**REINF. REINFORCED**  
**REQ. REQUIRED**  
**RESIL. RESILIENT**  
**REV. REVISION**  
**RM. ROOM**  
**SCHED. SCHEDULE**  
**SECT. SECTION**  
**SHEET SHEET**  
**SIM. SIMILAR**  
**SPEC. SPECIFICATION**  
**SQ. SQUARE**  
**STD. STANDARD**  
**STL. STEEL**  
**STRUCT. STRUCTURAL**  
**SUSP. SUSPENDED**  
**T. TREADS**  
**T.&G. TONGUE AND GROOVE**  
**T.H. THRESHOLD**  
**T.V. TELEVISION**  
**TEL. TELEPHONE**  
**THK. THICK**  
**THRU. THROUGH**  
**TYP. TYPICAL**  
**UNLESS OTHERWISE NOTED**  
**U.O.N. UNIFORM COMPOSITION TILE**  
**V.C.T. VERIFY IN FIELD**  
**V.I.F. VERIFY IN FIELD**  
**VERT. VERTICAL**  
**W/D. WASHER / DRYER**  
**W/O. WITHOUT**  
**W.C. WATER CLOSET**  
**W.P. WATER-PROOF**  
**W.W.F. WELDED WIRE FABRIC**  
**WD. WOOD**  
**MICRO. MICROWAVE OVEN**  
**WSCT. WAINSCOTT**

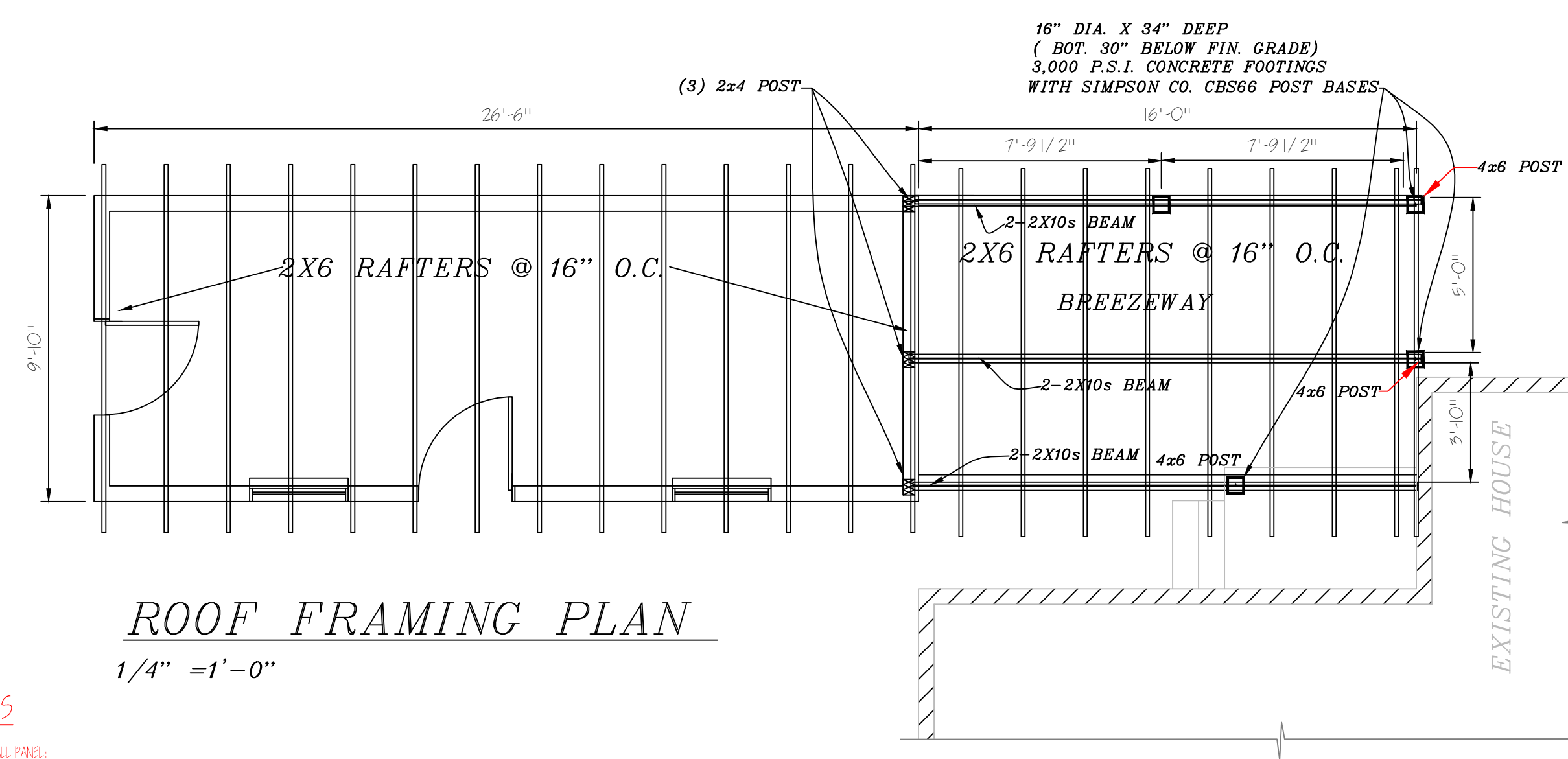
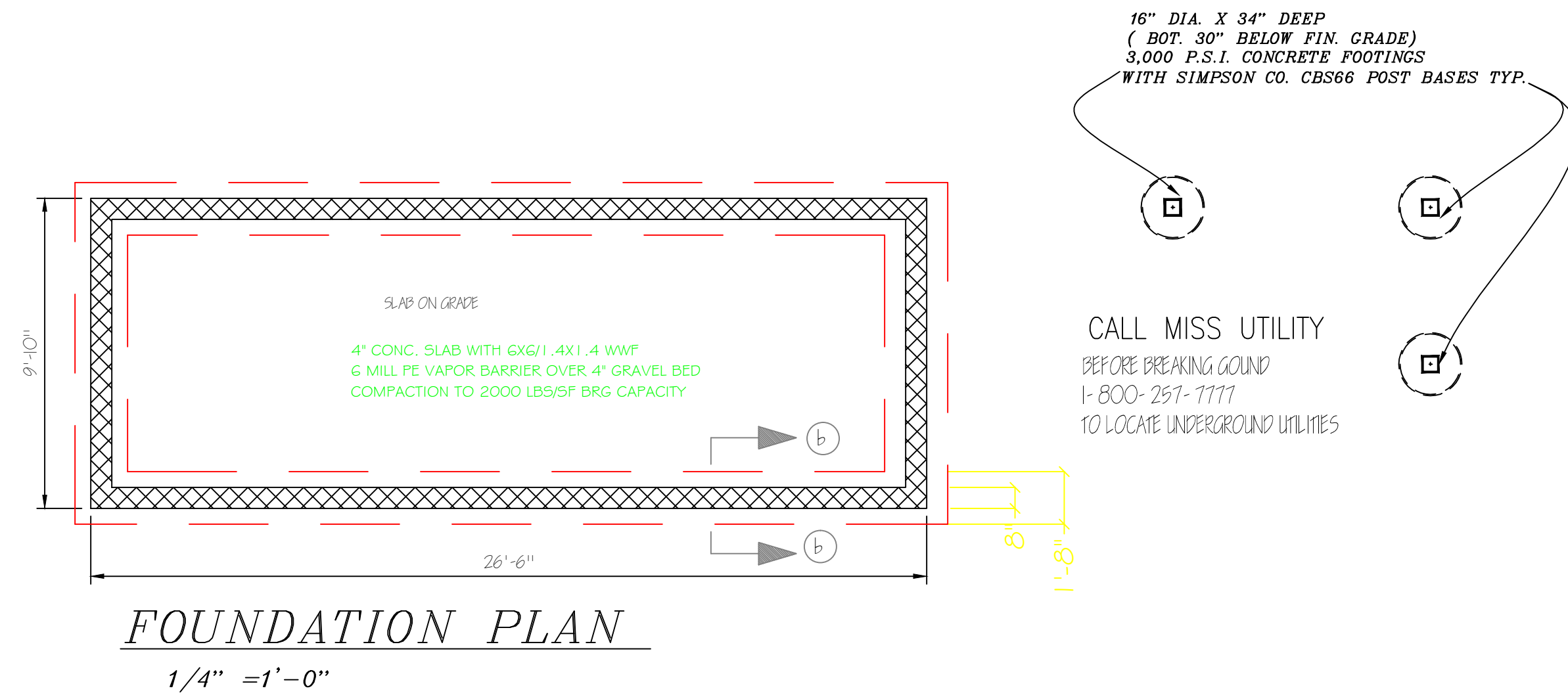
## SCOPE OF WORK

NEW SHEAD W\ BREEZEWAY

New shead  
3510 Lancer Dr. - Hyattsville, MD 20782

COVER SHEET

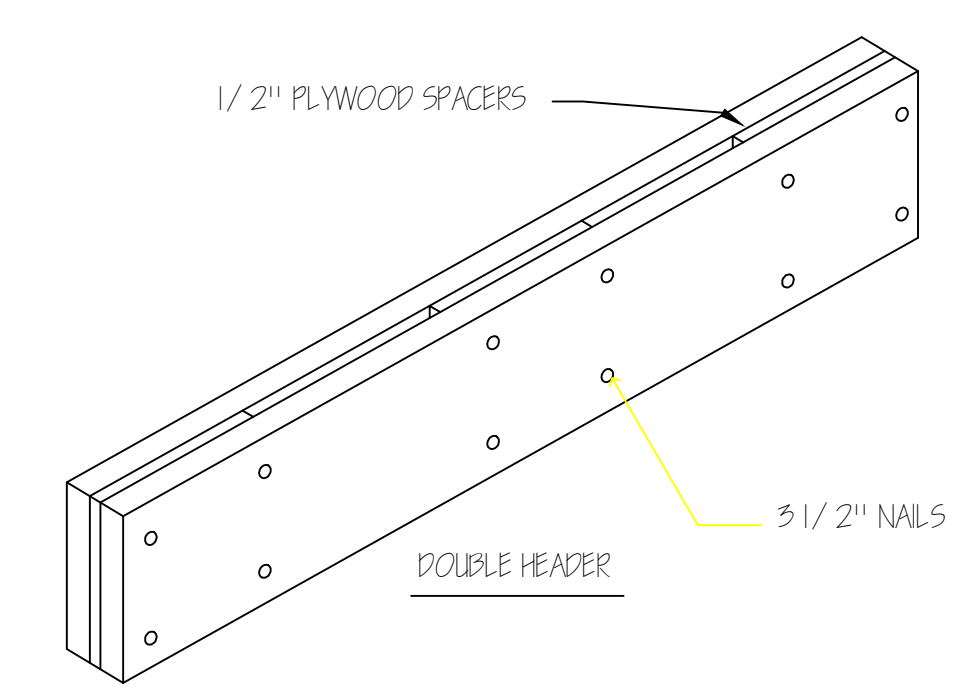
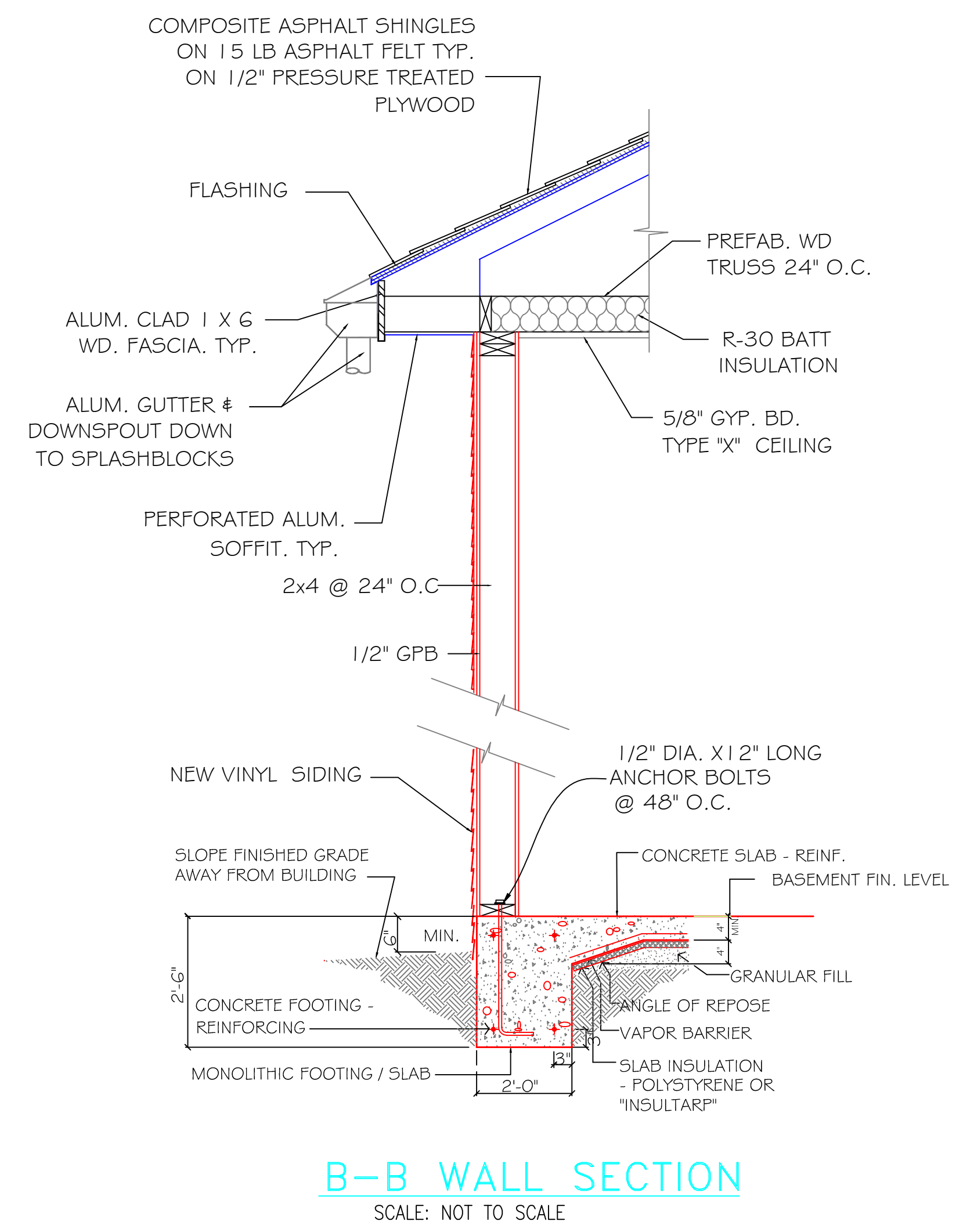
CS-1



**BRACING WALL PANEL NOTES**

1. BRACKETED CONTINUOUS BEARING METHOD BRACE WALL PANELS. CONTINUOUS BEARING METHOD REQUIRES STRUCTURAL PANEL BEARING TO BE USED ON ALL BEARABLE SURFACES ON ONE SIDE OF BRACED WALL INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS. PANEL SHALL BE OF A 48" WIDTH WITH THICKNESS OF 5/8" FOR STDS @ 16" O.C. WALL HEIGHT OF 12'. BRACE WALL PANELS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE METHOD SHOWN ON SCHEDULE.

2. PROVIDE 800 lbs RE-DRAWN PENCE AT THE EDGE OF PANELS CLOSE TO THE CORNER OF THE FLOOR FRAMING.



ALLOWABLE SPANS FOR OPENING HEADERS

| HEADER SIZE (MATERIAL ON EDGE) | SUPPORTING TWO FLOORS CEILING AND ROOF | SUPPORTING ONE FLOOR, CEILING AND ROOF | SUPPORTING ONLY CEILING AND ROOF |
|--------------------------------|--|--|----------------------------------|
| 2-2x8s                         | 2'                                     | 3'                                     | 4'                               |
| 2-2x8s                         | 4'                                     | 5'                                     | 6'                               |
| 2-2x10s                        | 6'                                     | 7'                                     | 8'                               |
| 2-2x10s                        | 7'                                     | 8'                                     | 10'                              |
| 2-2x12s                        | 8'                                     | 9'                                     | 12'                              |

A HEADER IS MADE UP BY NAILING TWO PIECES OF STOCK TOGETHER WITH THE PROJECT THICKNESS OF SPACER BETWEEN THEM. FOR A 2 BY 4 FRAME, THE SPACER WILL BE 1/2" IN.

LINTELS: UNLESS OTHERWISE SHOWN ON DRAWINGS, PROVIDE ANGLE LINTELS WHERE ARCHITECTURAL DRAWINGS INDICATE FACE BRICK AND PRECAST LINTELS ELSEWHERE. PROVIDE ONE LINTEL WITH SIX-INCH MINIMUM BEARING FOR EACH FOUR INCHES OF WALL THICKNESS AS FOLLOWS:

|                                |  |    |             |                      |
|--------------------------------|--|----|-------------|----------------------|
| UP TO 4'-0"                    | L3-1/2 x 1/4   | OR | 4" x 8" PCC | W/ #3 TOP AND BOTTOM |
| 4'-1" TO 5'-0"                 | L4 x 3/4 x 5/16  | OR | 4" x 8" PCC | W/ #4 TOP AND BOTTOM |
| 5'-1" TO 6'-0"                 | L5 x 3/4 x 5/16  | OR | 4" x 8" PCC | W/ #4 TOP AND BOTTOM |
| 6'-1" TO 8'-0"                 | L6 x 3/4 x 5/8   | OR | 4" x 8" PCC | W/ #4 TOP AND BOTTOM |
| OVER 8'-0" TO LESS THAN 12'-0" | W12 x 35 W/ 5/16 CONT. HUNG AND 1/4" HANGER @ 16" O.C. |    |             |                      |

PROVIDE LINTELS FOR MISCELLANEOUS OPENINGS SUCH AS DICTS, LOUVERS, CHASES, ETC. ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SIZES AND LOCATIONS.

ARCHITECTURAL  
DRAWINGS  
"House Plans For All Budgets, All Tastes, All Sites."  
1516 W. KERSEY LN  
POTOMAC MD  
GILBERT E. 301 613 1139

CONSTRUCTION PLANS

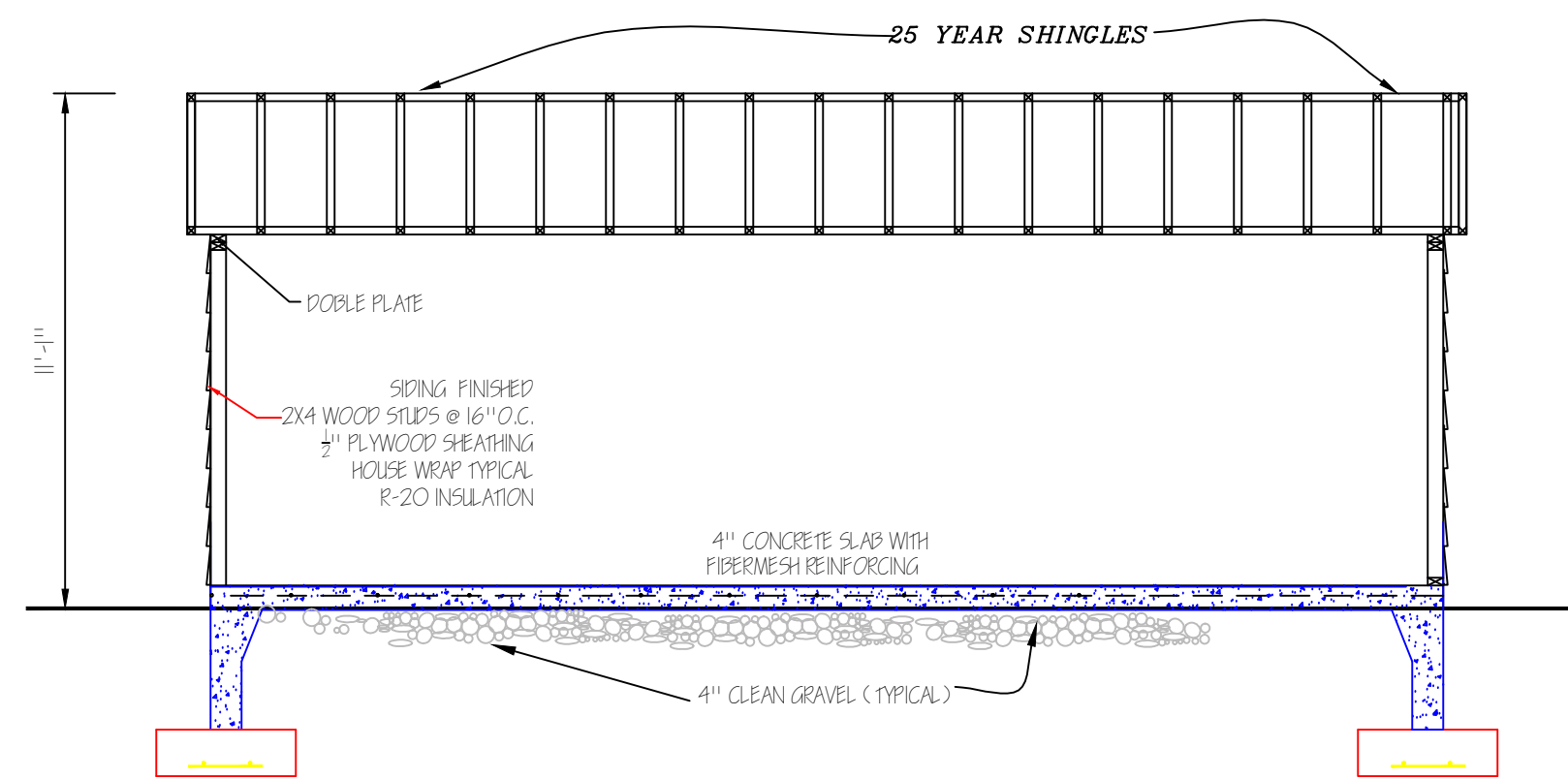
New shead

3510 Lancer Dr. - Hyattsville, MD 20782

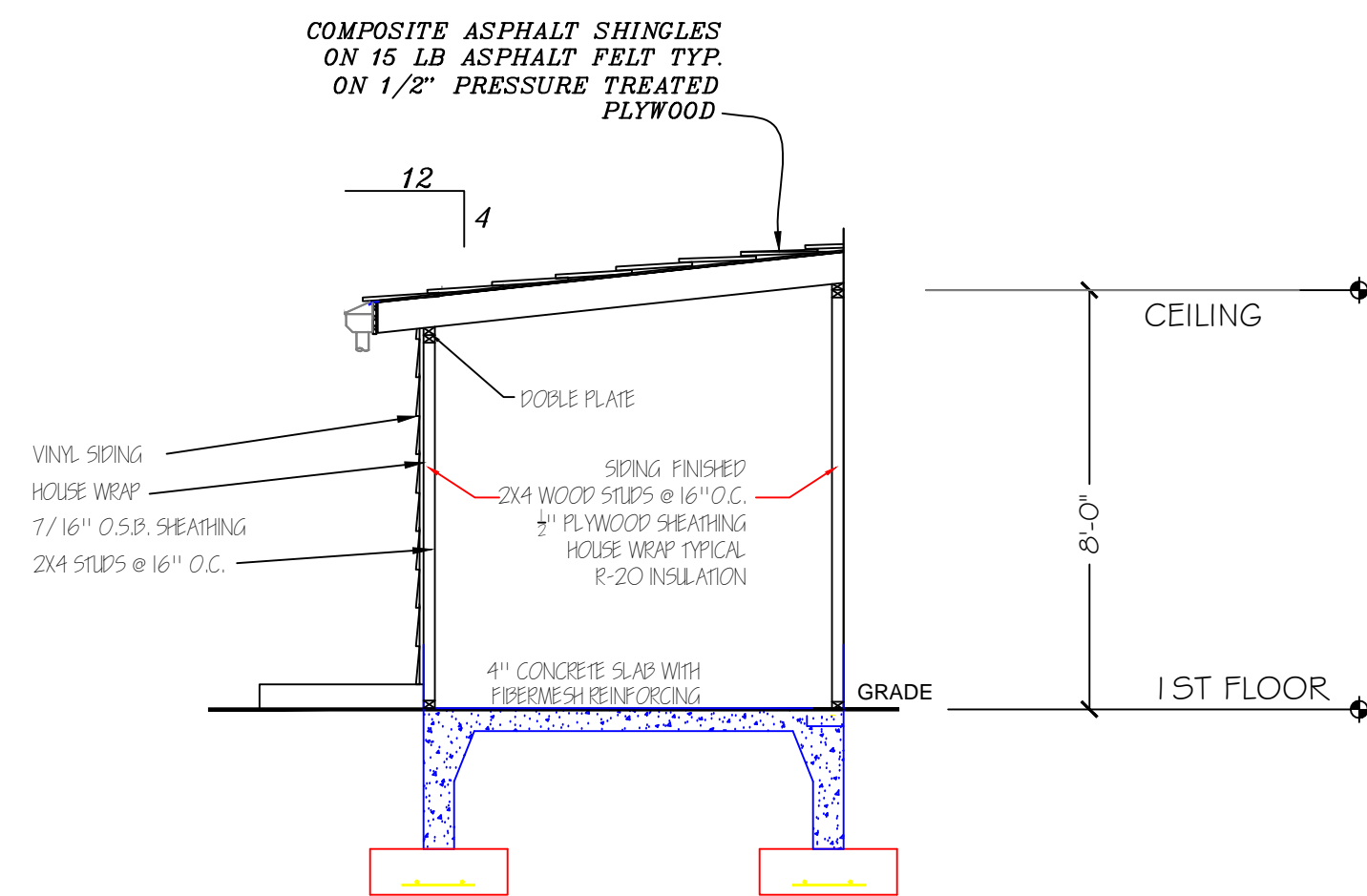
JOB NO. 4482

| REVISION # | DATE | DESCRIPTION |
|------------|------|-------------|
| 1          |      |             |
|            |      |             |
|            |      |             |

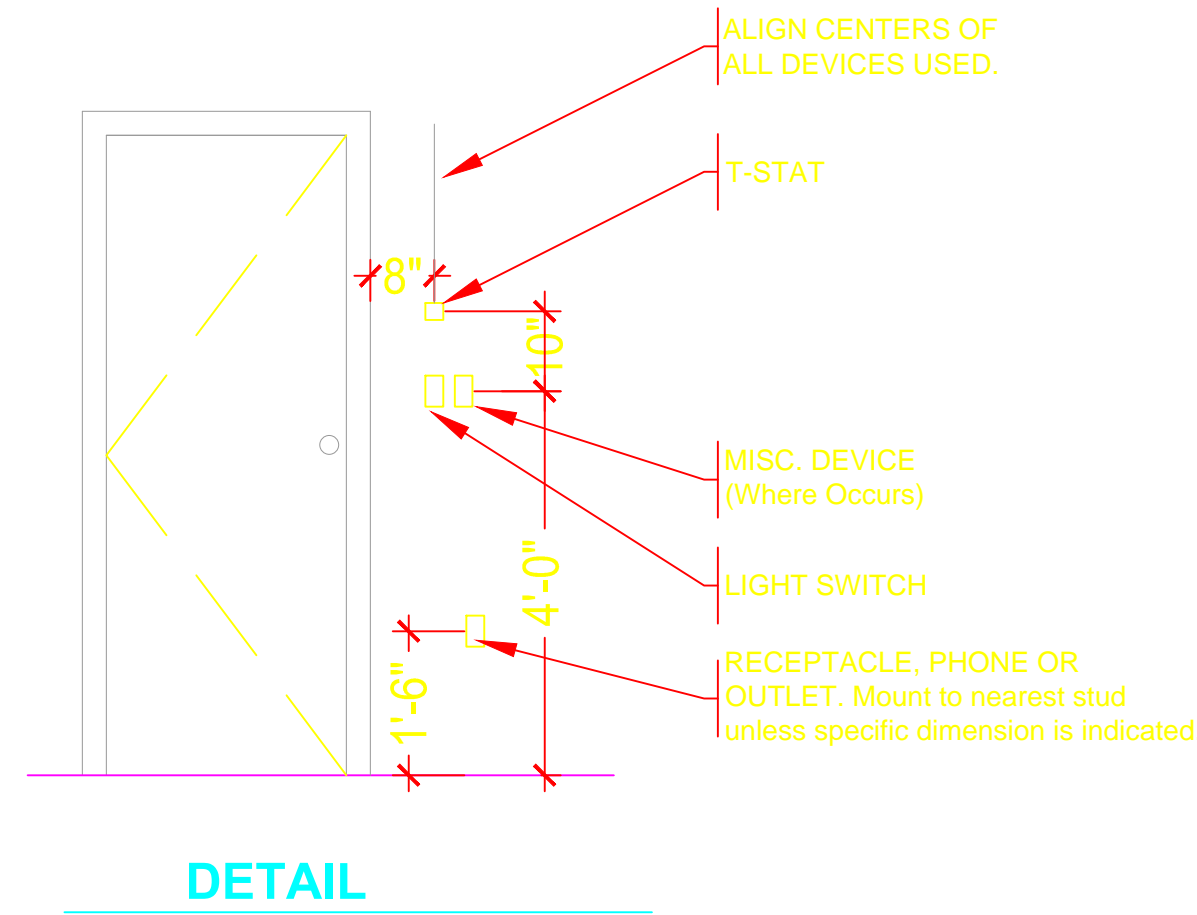
SCALE: 1/4" = 1'-0" PAGE: 5-1  
DRAWN BY: GILBERT E.  
DATE: 04-20-22



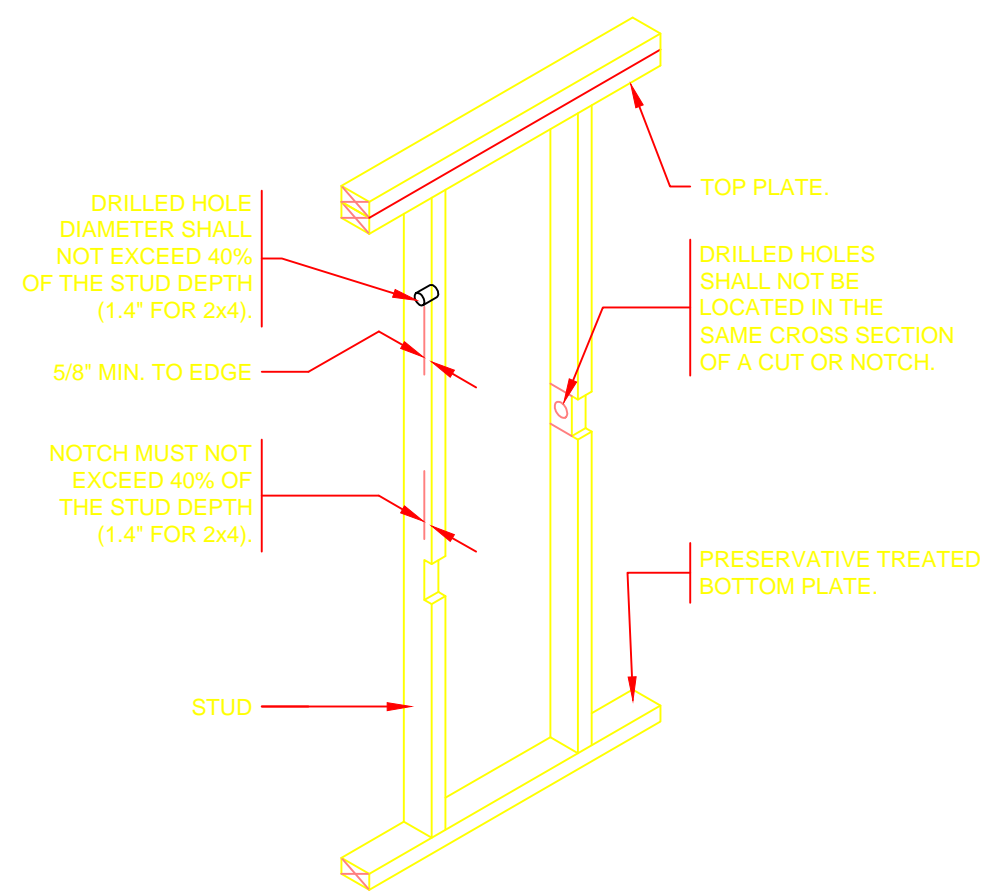
**CROSS SECTION**  
1/4" = 1'-0"



**CROSS SECTION**  
1/4" = 1'-0"



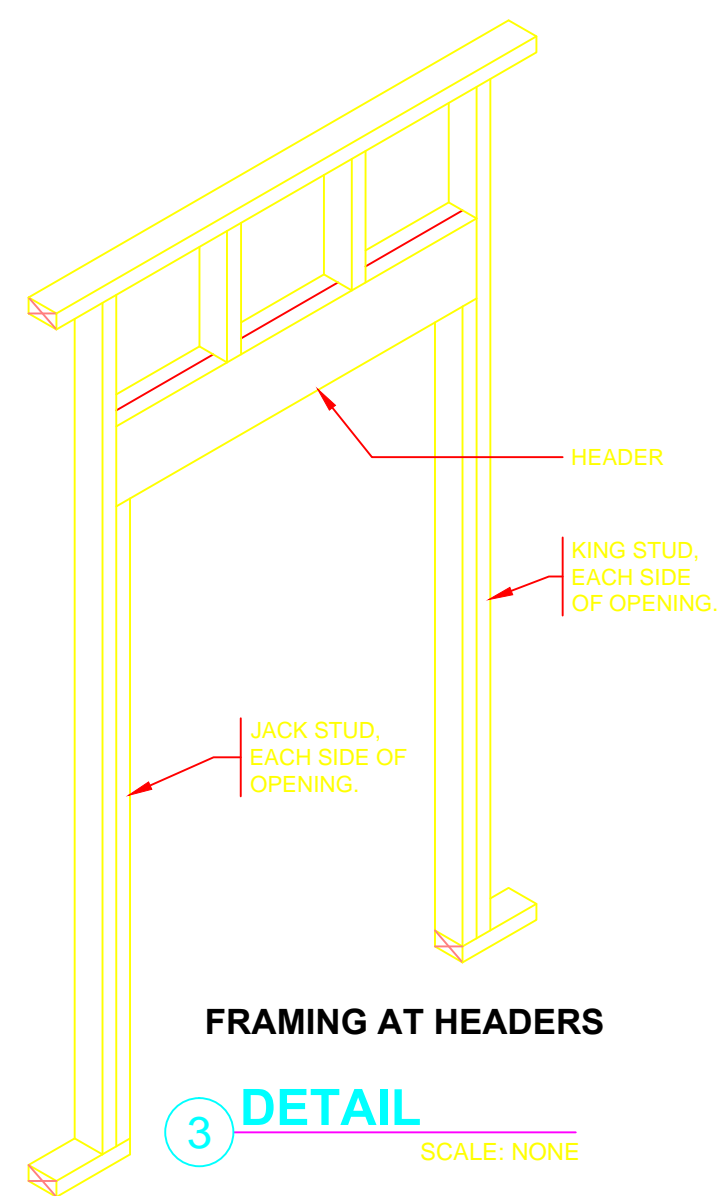
**DETAIL**



**DRILLING AND NOTCHING STUDS**

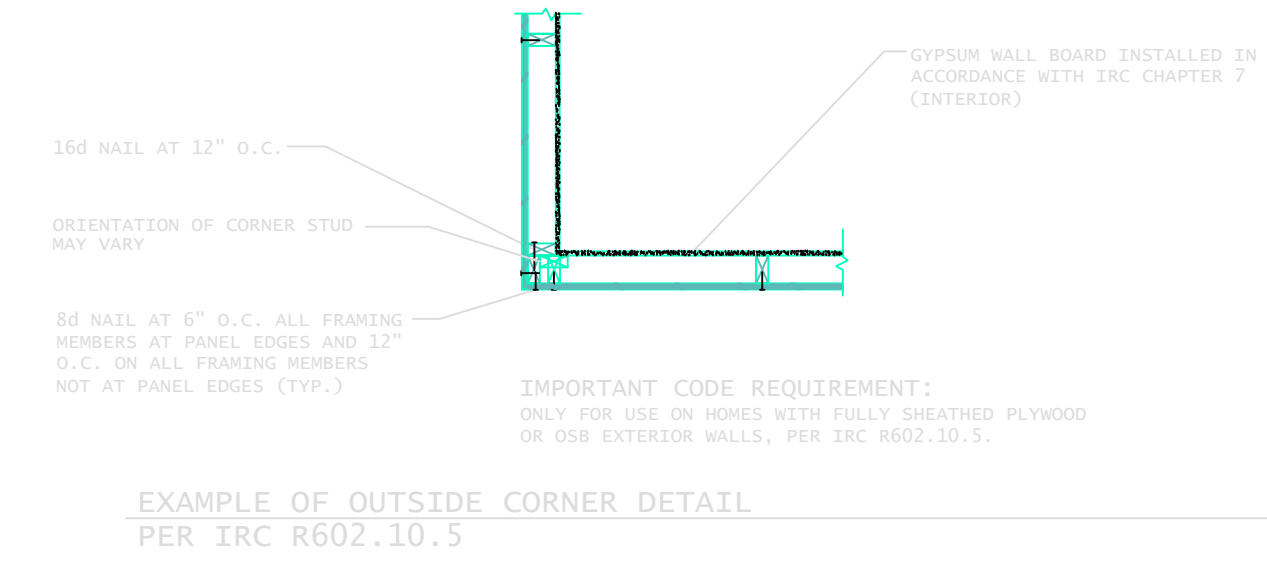
**2 DETAIL** SCALE: NONE

HEADER SHALL BE FRAMED PER DETAIL 3 AND SIZED PER HEADER SIZE SCHEDULE. TWO-PLY HEADERS SHALL BE FASTENED TOGETHER USING 16d (3/8" X 0.135") FACE NAILS AT 16 INCHES ON CENTER STAGGERED ALONG THE TOP AND BOTTOM EDGES.

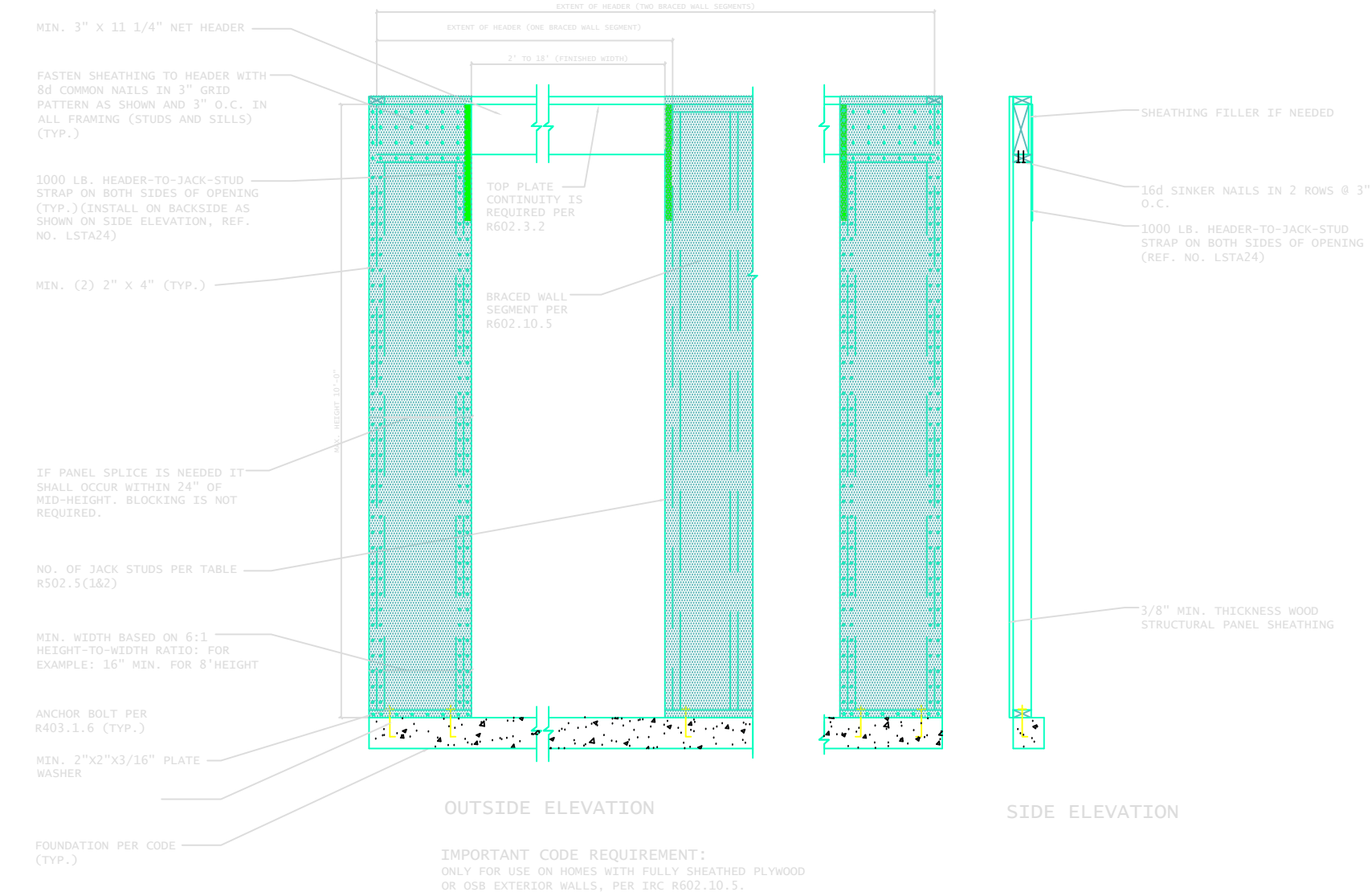


**FRAMING AT HEADERS**

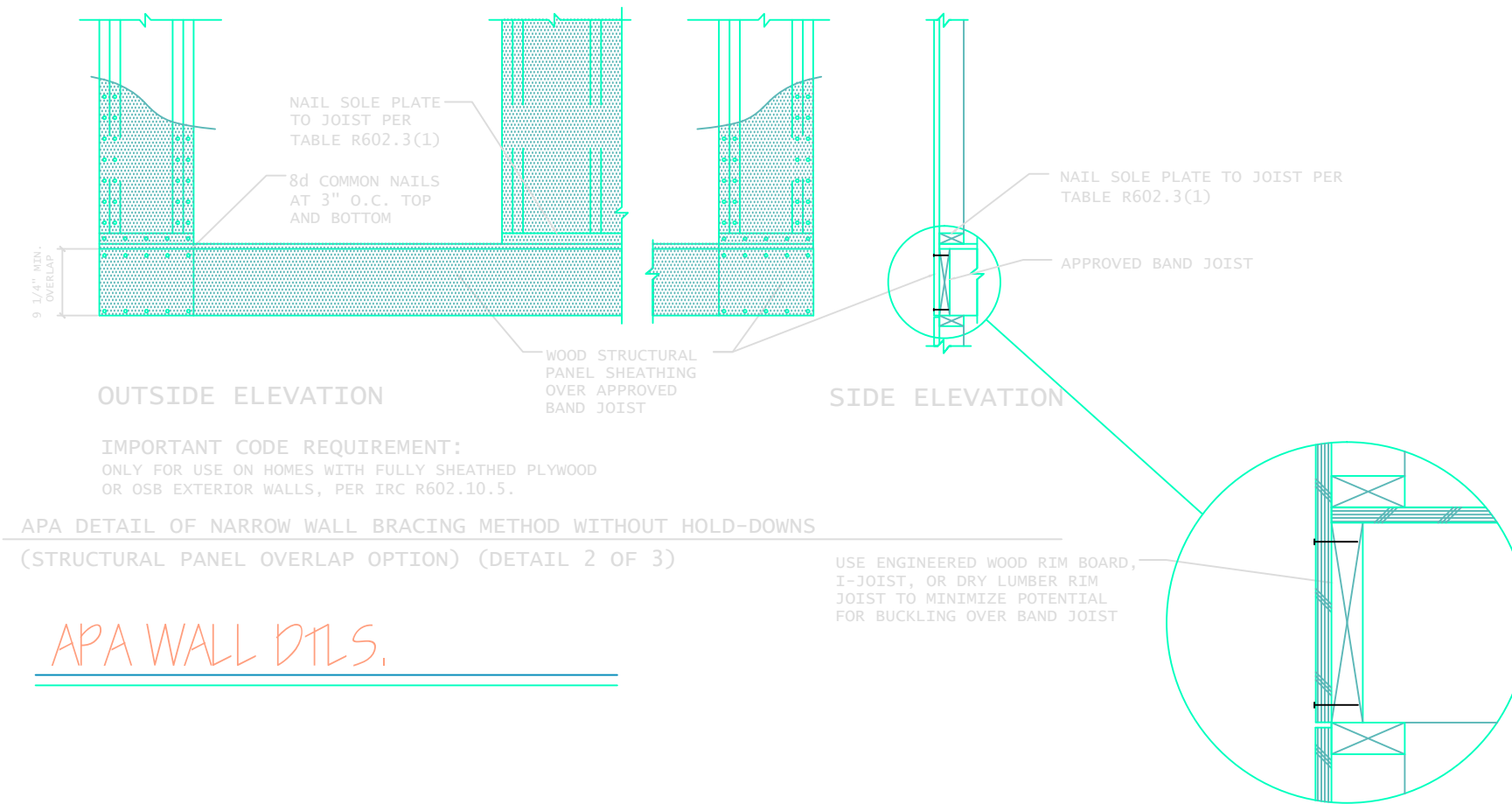
**3 DETAIL** SCALE: NONE



**EXAMPLE OF OUTSIDE CORNER DETAIL PER IRC R602.10.5**



**APA DETAIL OF NARROW WALL BRACING METHOD WITHOUT HOLD-DOWNS (DETAIL 1 OF 3)**



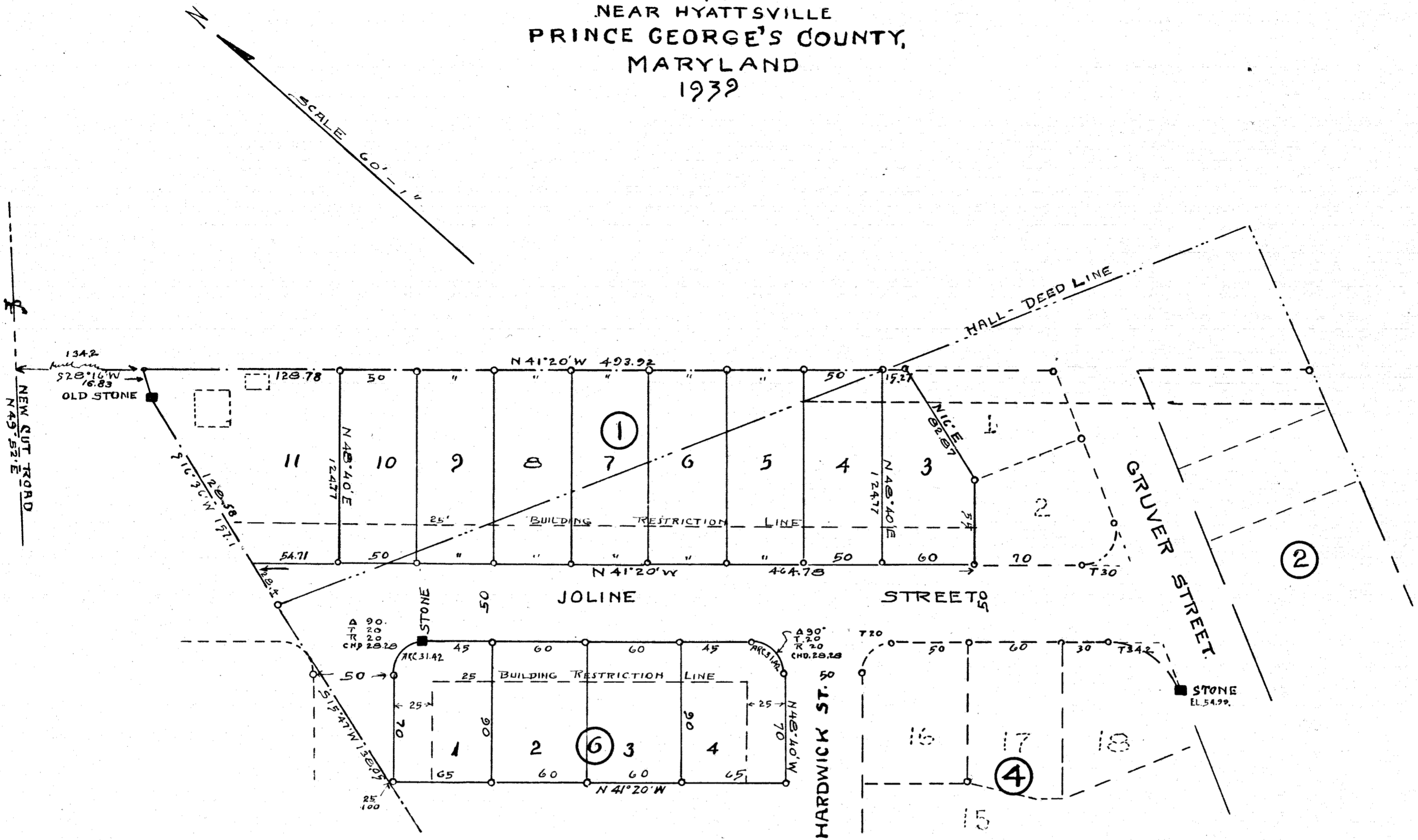
**APA WALL DTLS.**

|                           |      |             |
|---------------------------|------|-------------|
| JOB NO. 4482              |      |             |
| REVISION #                | DATE | DESCRIPTION |
| △                         |      |             |
|                           |      |             |
|                           |      |             |
| SCALE: 1/4" = 1'-0" PAGE: |      |             |
| DRAWN BY: GILBERT E.      |      |             |
| DATE: 04-20-22            |      |             |

LOTS 3 TO 11 INCL., BLOCK 1  
AND  
LOTS 1 TO 4 INCL., BLOCK 6

**CLEARWOOD**

NEAR HYATTSVILLE  
PRINCE GEORGE'S COUNTY,  
MARYLAND  
1939



**ENGINEER'S CERTIFICATE**

We hereby certify that the plat hereon delineated is correct.  
That it is a subdivision of part of the land acquired by Ira K. Gruver in Three (3) Deeds, First: From James M. Hall and Enola V. Hall his wife by deed, dated March 22, 1920, recorded in Liber 153 Folio 30, Second: From the Servant Sisters of The Holy Ghost by deed dated March 21, 1921 and recorded in Liber 179, Folio 436, Third: From The Maryland Guarantee and Investment Company by deed dated December 14, 1925 and recorded in Liber 261 Folio 6, all in the Land Records of Prince George's County, Md.  
The stones marked thus (■) and pipes marked thus (○) have been placed where shown on the plat.

HYATTSVILLE, MD.  
DEC. 30, 1939

*Edward L. Latimer & Son*  
EDWARD L. LATIMER & SON  
SURVEYORS.

**OWNER'S DEDICATION**

We, Ira K. Gruver and Clyde Gruver, his wife do hereby adopt the plan of subdivision shown hereon. And establish the minimum building restriction lines, and dedicate the streets to public use.

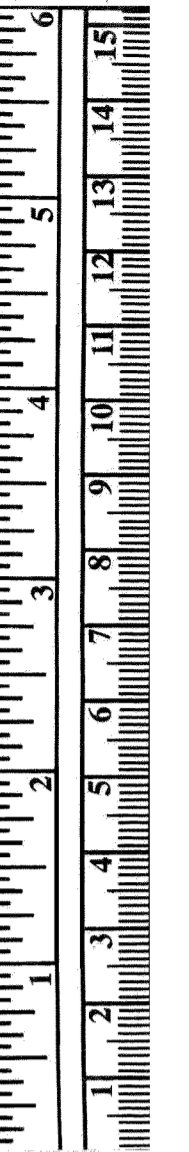
DATE *Jan. 3, 1940*  
*Ira K. Gruver*  
IRA K. GRUVER  
*Clyde Gruver*  
CLYDE GRUVER  
*E. K. Doebhoff*  
WITNESS  
*Ralph H. Wagner*  
WITNESS

We assent to this plan of subdivision:  
Date: JAN. 3, 1939  
PRINCE GEORGES BANK & TRUST CO.  
(MORTGAGEE)  
By: *Thaddeus M. Jones*  
Thaddeus M. Jones, Vice President  
Attest: *William Bowie*  
William Bowie, Treasurer

WASHINGTON SUBURBAN SANITARY DISTRICT  
APPROVED JAN. 15, 1940  
AS TO SUITABILITY FOR WATER & SEWER  
*Stamphill*  
CHIEF ENGINEER.

EDWARD L. LATIMER & SON  
SURVEYORS  
THOMAS  
HYATTSVILLE, MARYLAND

MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION  
APPROVED JAN. 10, 1940  
DATE  
*Geo. M. Palmer*  
CHAIRMAN  
*William Hampton*  
SECRETARY  
M-N-C-P & P.C. RECORD FILE NO. 1175



93-1-65  
65















INSPECTIONS DIVISION  
9200 Basil Court, Suite 307  
Largo, Maryland 20774  
301.883.3820 • FAX: 301.883.3873



**CORRECTION ORDER**

Address: 3510 Lancer dr

Permit #: None Date: 3/14/22

Type of Inspection: Exterior structures

The discrepancies listed below require correction in order to pass inspection.

Needs to obtain building & electrical permit for Multi structural with electric in the rear yard, along with a 6ft wooden fence, bathroom in the shed will need WSSC approval.

Contact Inspector for information.

- Reinspection Fee \$ \_\_\_\_\_
- Special Investigation Fee \$ 300.00

*(Please note this may not be a complete listing.)*

For inspection requests, call our Automated Inspection Request/Information System (AIRIS) at 301.883.5390.

Inspector: K. Harrison  
(Signature & ID #)

Phone #: (240) 508 9853

*(Between 7:00 a.m. and 9:00 a.m. only)*

[View Map](#)

[View GroundRent Redemption](#)

[View GroundRent Registration](#)

**Special Tax Recapture: None**

**Account Identifier:** District - 16 **Account Number - 1798198**

**Owner Information**

**Owner Name:** RIVAS DOUGLAS C **Use:** RESIDENTIAL  
**Mailing Address:** 3510 LANCER DR **Principal Residence:** YES  
 HYATTSVILLE MD 20782- **Deed Reference:** /40022/ 00327

**Location & Structure Information**

**Premises Address:** 3510 LANCER DR **Legal Description:**  
 HYATTSVILLE 20782-0000

**Map: Grid: Parcel: Neighborhood: Subdivision: Section: Block: Lot: Assessment Year: Plat No:** A-0529  
 0041 00F4 0000 16021500.17 1500 1 4 2022 **Plat Ref:**

**Town:** HYATTSVILLE

**Primary Structure Built Above Grade Living Area Finished Basement Area Property Land Area County Use**  
 1945 1,122 SF YES 6,328 SF 001

**StoriesBasementType ExteriorQualityFull/Half BathGarageLast Notice of Major Improvements**  
 1 1/2 YES STANDARD UNITFRAME/3 1 full/1 half

**Value Information**

|                           | Base Value | Value      |            | Phase-in Assessments |       |
|---------------------------|------------|------------|------------|----------------------|-------|
|                           |            | As of      | As of      | As of                | As of |
| <b>Land:</b>              | 100,200    | 01/01/2022 | 07/01/2022 | 07/01/2023           |       |
| <b>Improvements</b>       | 172,700    | 135,400    | 153,000    |                      |       |
| <b>Total:</b>             | 272,900    | 288,400    | 278,067    | 283,233              |       |
| <b>Preferential Land:</b> | 0          | 0          |            |                      |       |

**Transfer Information**

**Seller:** GREEN MARION L TEST TRUSTEE **Date:** 09/15/2017 **Price:** \$245,000  
**Type:** NON-ARMS LENGTH OTHER **Deed1:** /40022/ 00327 **Deed2:**

**Seller:** THOMAS CARROLL W & ROSEMARY **Date:** 04/24/2013 **Price:** \$0  
 E

**Type:** NON-ARMS LENGTH OTHER **Deed1:** /34645/ 00466 **Deed2:**

**Seller:** DOVE,WILLIAM E & **Date:** 09/16/1976 **Price:** \$36,292  
**Type:** **Deed1:** /04668/ 00547 **Deed2:**

**Exemption Information**

| Partial Exempt Assessments: | Class | 07/01/2022 | 07/01/2023 |
|-----------------------------|-------|------------|------------|
| <b>County:</b>              | 000   | 0.00       |            |
| <b>State:</b>               | 000   | 0.00       |            |
| <b>Municipal:</b>           | 000   | 0.00 0.00  | 0.00 0.00  |

**Special Tax Recapture: None**

**Homestead Application Information**

**Homestead Application Status:** Approved 12/11/2017

**Homeowners' Tax Credit Application Information**

**Homeowners' Tax Credit Application Status:** No Application **Date:**



**Property**

**Tax Account:** 1798198

**Owner Name:** RIVAS DOUGLAS C

**Premise Address:** 3510 Lancer Dr, Hyattsville, MD 20782

**Parcel Details**

**Tax Account #:** 1798198  
**Assessment District:** 16  
**Lot:** 4 **Block:** 1 **Parcel:**  
**Description:**  
**Plat:** A16-0529  
**Subdivision:** CLEARWOOD  
**Acreage:** 0.1450

**Ownership Information**

**Owner Name:** RIVAS DOUGLAS C  
**Owner Address:** 3510 Lancer Dr,  
Hyattsville, MD 20782  
**Liber:** 40022 **Folio:** 327  
**Transfer Date:** 9/15/2017  
**Current Assessment:** \$272,900.00  
**Land Valuation:** \$100,200.00  
**Improvement**  
**Valuation:** \$172,700.00  
**Sale Price:** \$245,000.00  
**Structure Area (Sq Ft):** 1122

**Administrative Details**

**Tax Map Grid:** 041F4  
**WSSC Grid:** 207NE03  
**Tree Conservation**  
**Plan 1:**  
**Tree Conservation**  
**Plan 2:**  
**Councilmanic District:** 2

**Legislative District (2014)**

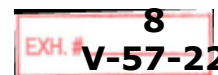
**Legislative District:** 22  
**Member 1:** Paul G. Pinsky  
**Party 1:** Democrat  
**Member 2:** Anne Healey  
**Party 2:** Democrat  
**Member 3:** Alonzo T. Washington  
**Party 3:** Democrat  
**Member 4:** Nicole A. Williams  
**Party 4:** Democrat

**Prior Development District Overlay (Prior)**

**Overlay Zone:** D-D-O  
**Plan Name:** GATEWAY ARTS DISTRICT SECTOR PLAN AND SMA  
**Resolution:** CR-78-2004  
**Adoption Date:** 11/30/2004  
**Acreage:** 1907.699336

**Councilmanic District (2014)**

**District:** 2  
**Councilmember:** Deni Taveras  
**Political Party:** Democrat  
**Telephone:** 301-952-4436  
**Email:** dltaveras@co.pg.md.us  
**District:** Null  
**Councilmember:** Mel Franklin (At Large)  
**Political Party:** Democrat  
**Telephone:** 301-952-2638  
**Email:** mfranklin1@co.pg.md.us  
**District:** Null





**Councilmember:** Calvin S. Hawkins, II (At Large)  
**Political Party:** Democrat  
**Telephone:** 301-952-2195  
**Email:** at-largememberhawkins@co.pg.md.us

## Tax Grid

**Map Grid:** 41-F4

## Watershed (DOE)

**Name:** NORTHWEST BRANCH (ANA)

## Watershed - 12 digit (DNR)

**MDE 6 Digit Code:** 021402  
**MDE 6 Digit Name:** WASHINGTON METROPOLITAN  
**MDE 8 Digit Code:** 02140205  
**MDE 8 Digit Name:** Anacostia River  
**Watershed Code:** 0818  
**DNR 12 Digit Designator:** 021402050818  
**Tributary Strategy Watershed:** MIDDLE POTOMAC  
**NRCS HUA14 Digit Code:** 02070010030130  
**NRCS HUA11 Digit Code:** 02070010030  
**NRCS HUA8 Digit Code:** 02070010  
**Acreage:** 4987.130371

## WSSC Grid

**Grid:** 207NE03

## Zip Code

**Zip Code:** 20782  
**City:** Hyattsville  
**Alternate Names:** Chillum, University Park, West Hyattsville

## Zoning (Current)

**Zone Type:** Residential  
**Class:** RSF-65 (Residential, Single-Family - 65)

## Zoning (Prior)

**Zone Type:** Residential  
**Class:** R-55 (One-Family Detached Residential)

V-57-22  
Aerial Photos

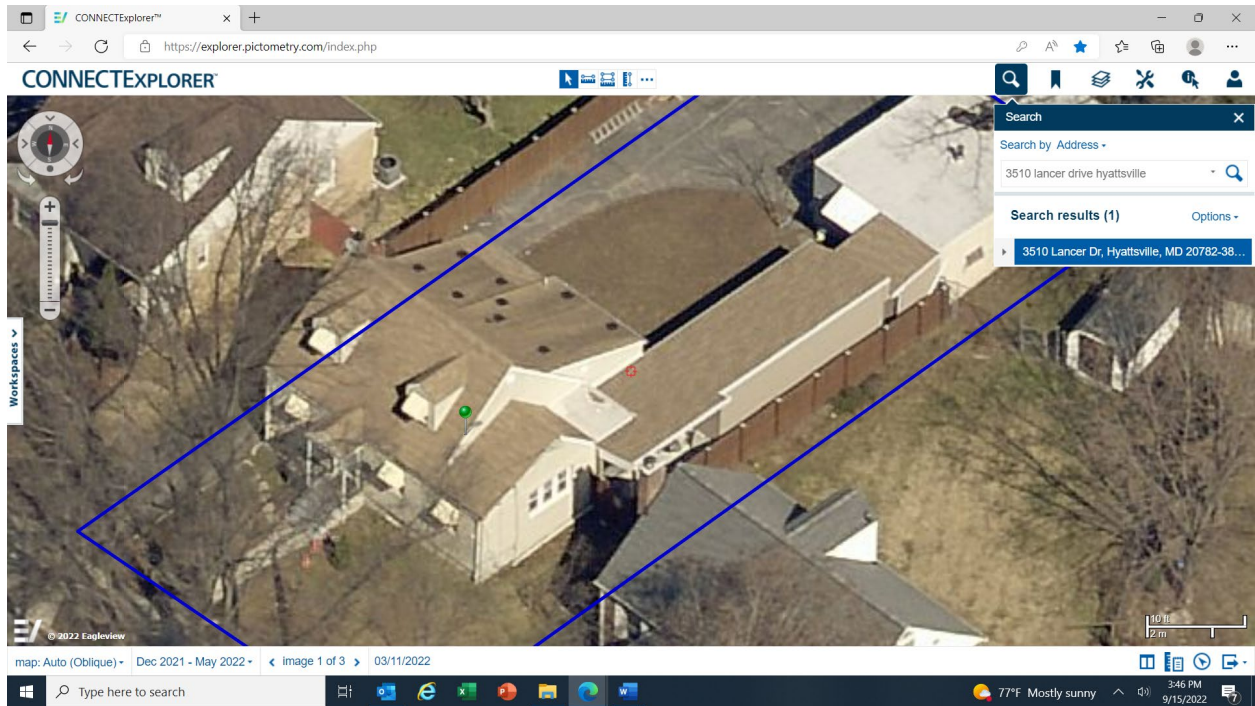
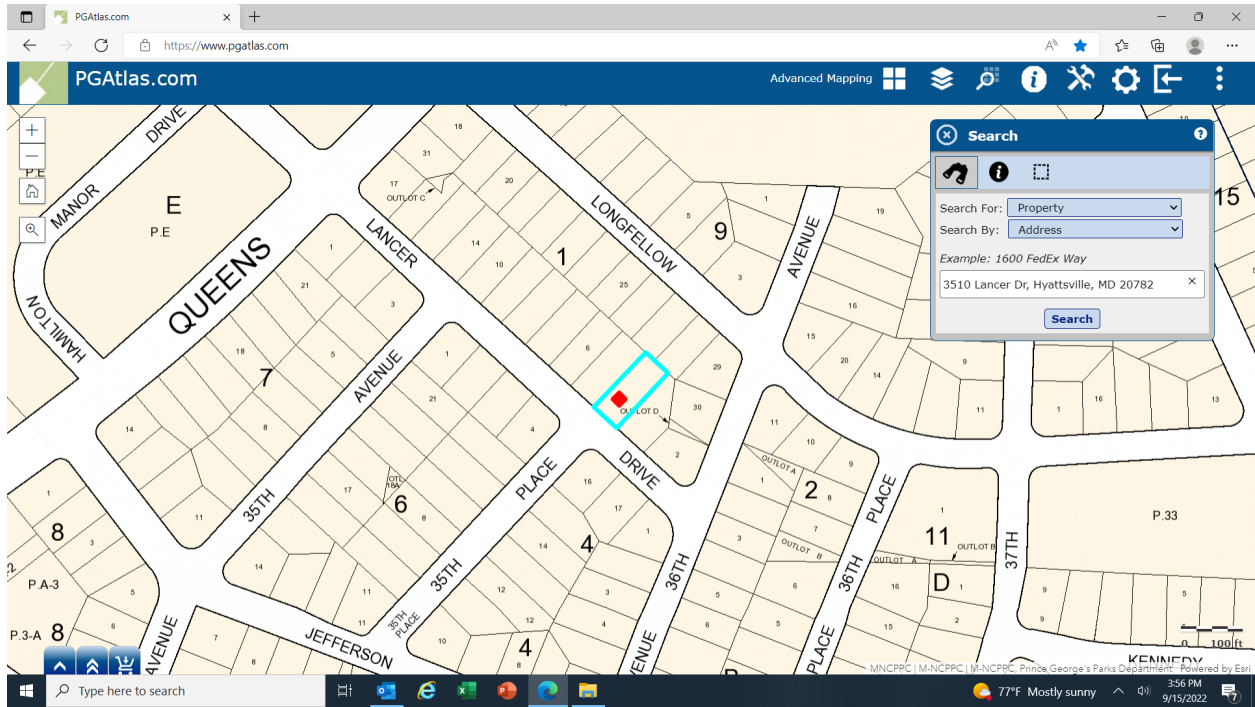
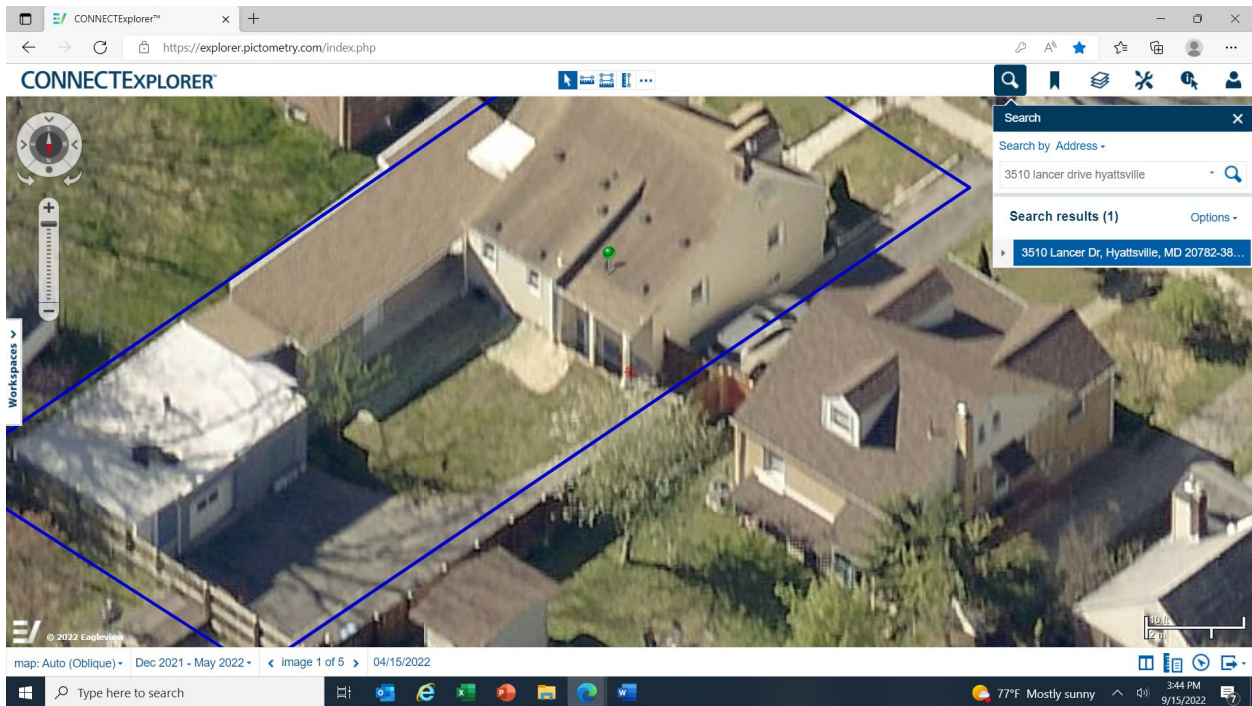
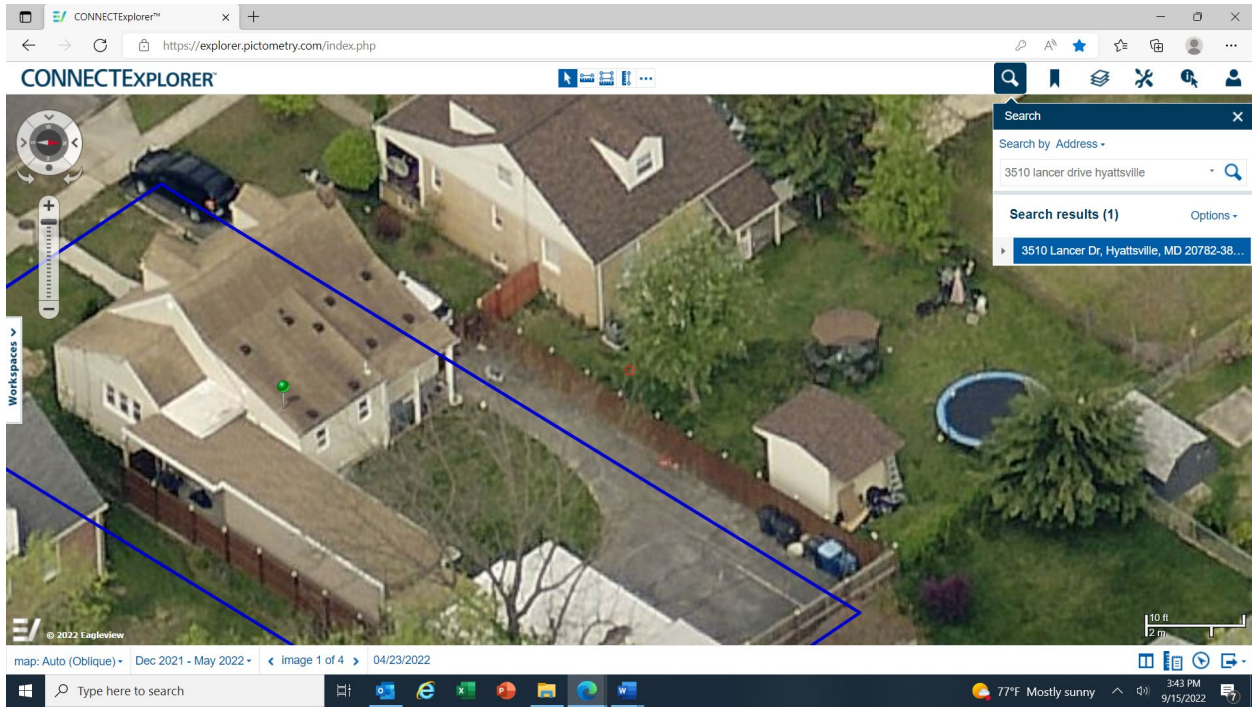
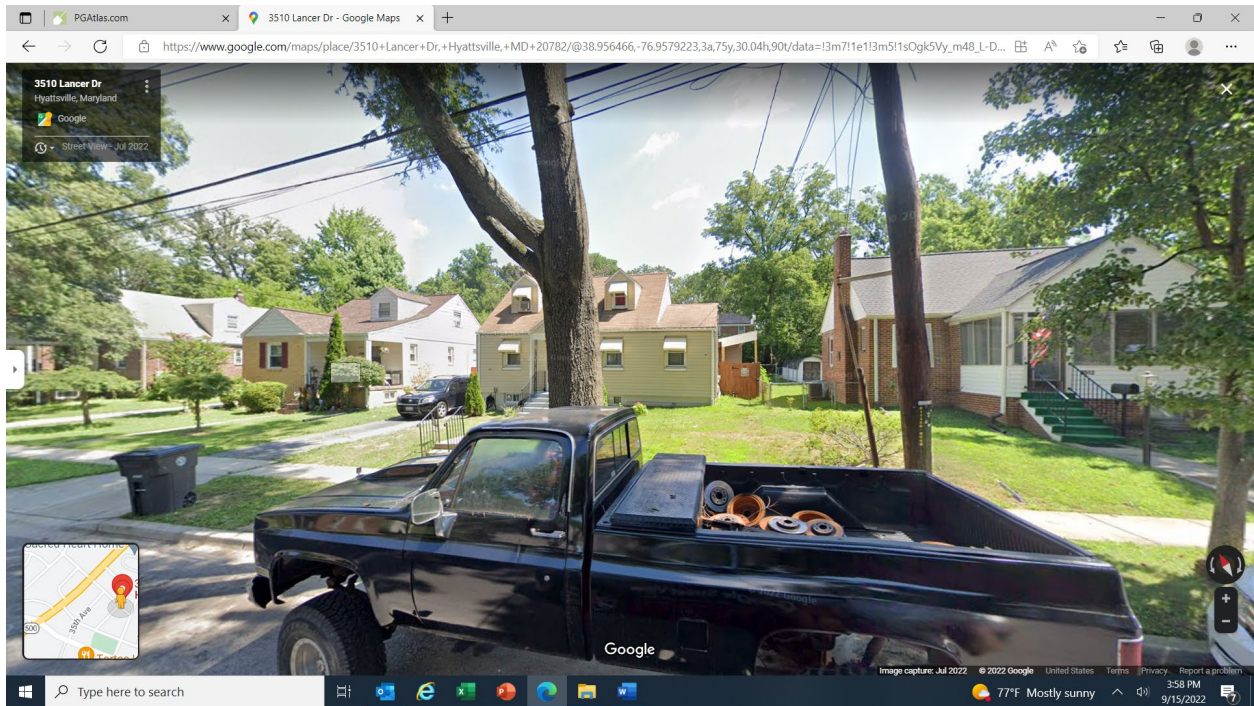
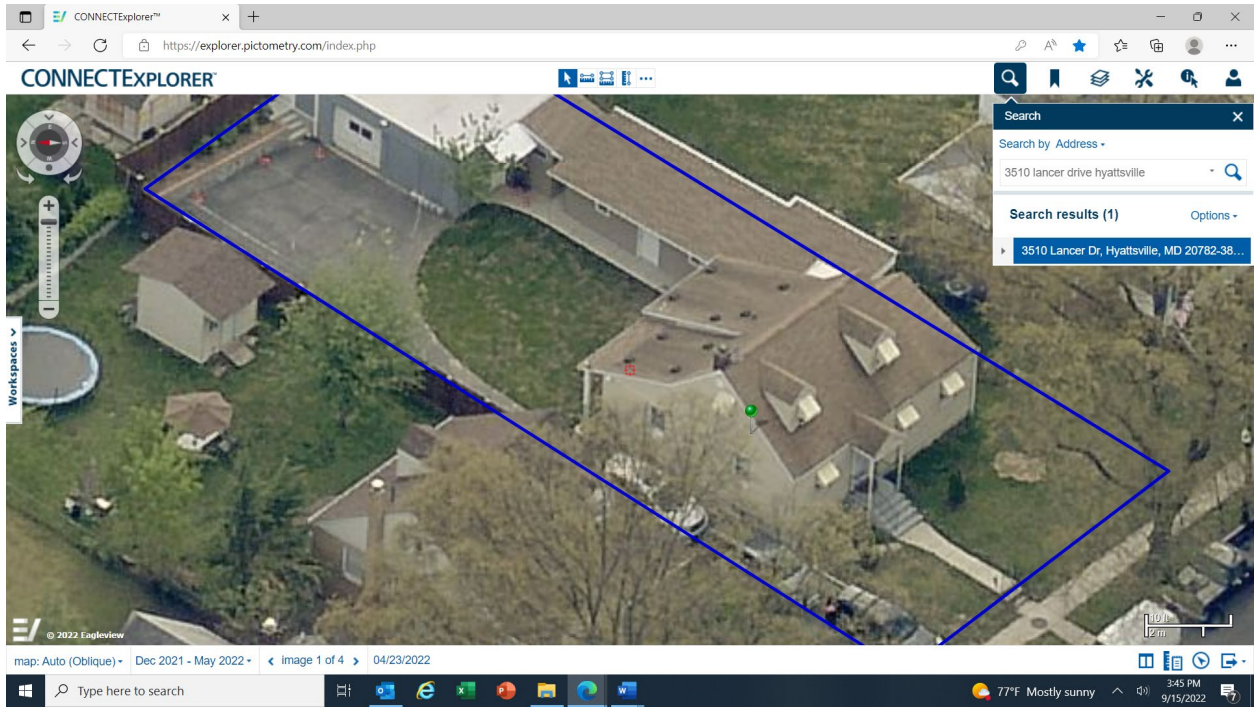


EXHIBIT 9(A-F)  
V-57-22

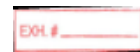
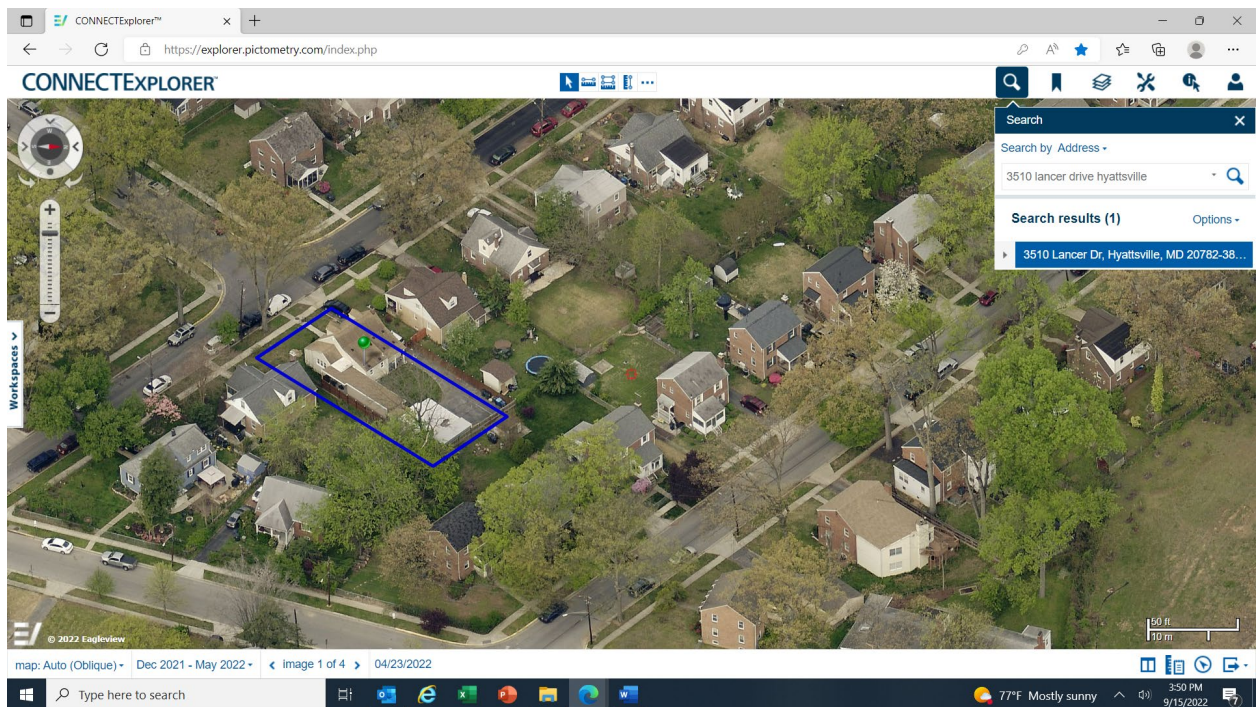
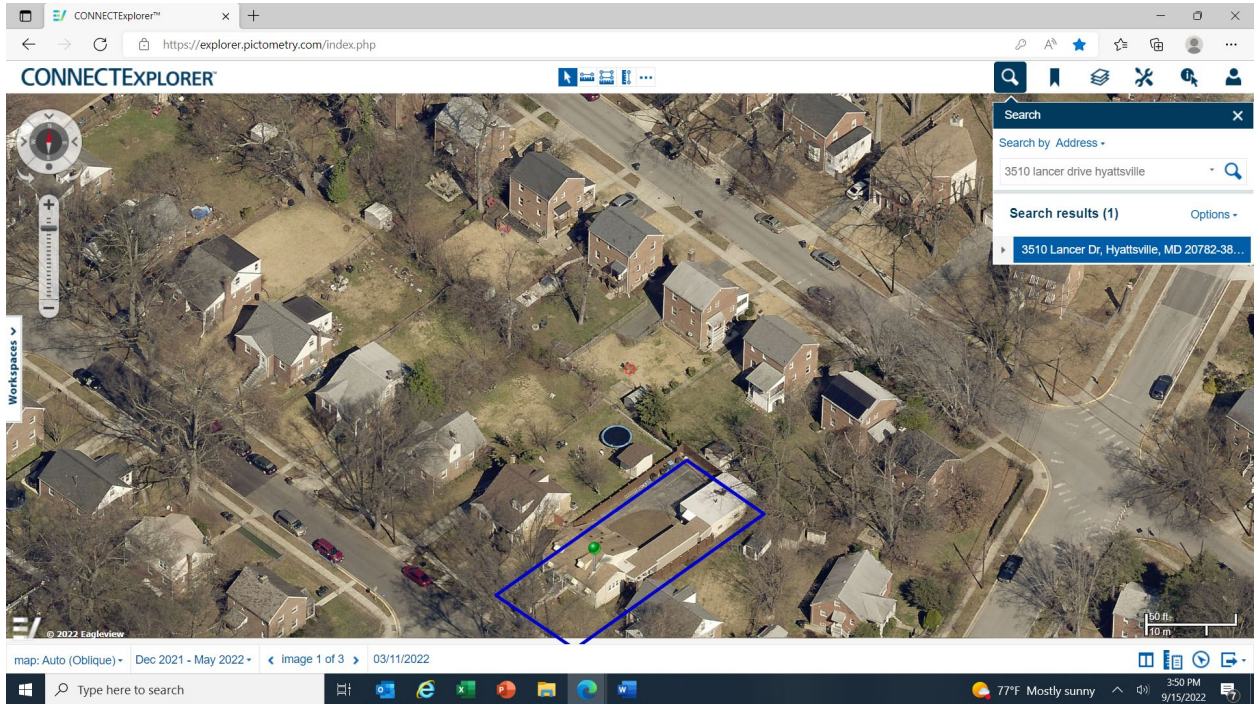
V-57-22  
Aerial Photos



V-57-22  
Aerial Photos



V-57-22  
Neighboring Properties



V-57-22  
Neighboring Properties

CONNECTEXPLORER™

https://explorer.pictometry.com/index.php

Search

Search by Address -

3510 lancer drive hyattsville

Search results (1) Options -

3510 Lancer Dr, Hyattsville, MD 20762-38...

map: Auto (Oblique) - Dec 2021 - May 2022 - < Image 1 of 5 > 04/15/2022

Type here to search

77°F Mostly sunny 3:51 PM 9/15/2022

**LOT COVERAGE WORKSHEET**

V-57-22

NET LOT SIZE \_\_\_\_\_ SQUARE FEET

\_\_\_\_% LOT COVERAGE ALLOWED \_\_\_\_\_ SQUARE FEET

STRUCTURE/PARKING                      MEASUREMENTS                      SQUARE FOOTAGE

HOUSE  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

GARAGE/CARPORT  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DRIVEWAY  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PORCH/SUNROOM  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SHED(S)  
\_\_\_\_\_  
\_\_\_\_\_

ADDITION(S)  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

OTHER: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TOTAL LOT COVERAGE \_\_\_\_\_ **4049**\_\_

TOTAL % NET LOT COVERAGE      \_\_65\_\_%      64.9

TOTAL % OVER NET LOT COVERAGE      \_\_30\_\_% (1,649S.F.)

**NOTICE OF VIRTUAL HEARING**

Date: October 11, 2022

Petitioner: Douglas C. Rivas

Appeal No.: V-57-22

Hearing Date: WEDNESDAY, OCTOBER 26, 2022, AT 6:00 P.M. **EVENING**

Place: Virtual Hearing

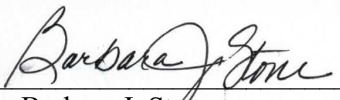
Appeal has been made to this Board for permission to validate existing conditions (net lot area, lot width, frontage width at front street line, lot coverage, front yard depth, side yard depth and accessory building, shed) and obtain a building permit for the illegal construction of a shed and breezeway on Residential, Single-Family-65 (RSF-65) zone, property known as Lot 4, Block 1, Clearwood Subdivision, being 3510 Lancer Drive, Hyattsville, Prince George's County, Maryland, contrary to the requirements of the Zoning Ordinance.

The specific violation resides in the fact that Zoning Ordinance Section 27-4202(e)(1) prescribes that each lot shall have a minimum net lot area of 6,500 square feet, a minimum width of 65 feet measured along the front building line, a minimum 52 feet measured along the front street line and not more than 35% of the net lot area shall be covered by buildings and off-street parking. Section 27-4202(e)(2) prescribes that each lot shall have a front yard at least 25 feet in depth. Section 27-4202(e)(3) prescribes that each lot shall have a side yard at least 8 feet in width. Section 27-4202(e)(5) prescribes that accessory buildings shall have 2 feet from any side or rear lot line. Variances of 172 square feet net lot area, 15 feet front building line width, 2 feet front street line width, 30% net lot coverage, 1.1 feet side yard width and 2 feet rear lot line setback for accessory buildings (shed) were requested.

Virtual hearing on this Appeal is set for the time and place stated above. **Petitioner, or counsel representing Petitioner, should be present at the hearing. A Petitioner which is a corporation, limited liability company, or other business entity MUST be represented by counsel, licensed to practice in the State of Maryland, at any hearing before the Board. Any non-attorney representative present at the hearing on behalf of the Petitioner (or any other person or entity) shall not be permitted to advocate.**

Adjoining property owners, who are owners of premises either contiguous to or opposite the property involved, are notified of this hearing in order that they may express their views if they so desire. However, their presence is not required unless they have testimony to offer the Board. In order to give verbal testimony during the virtual hearing, you must register with the Board of Appeals at least 5 days prior to the virtual hearing. Please call 301-952-3220 to register. No additional speakers will be allowed to give testimony unless registered with the Board. Please also visit the Board of Appeals website for Virtual Hearing Instructions and procedures at <http://pgccouncil.us/BOA>

BOARD OF ZONING APPEALS

By:   
Barbara J. Stone  
Administrator

cc: Petitioner  
Adjoining Property Owners  
Park and Planning Commission  
City of Hyattsville  
DPIE Inspections/Division



V-57-22  
DOUGLAS C. RIVAS  
3510 LANCER DRIVE  
HYATTSVILLE MD 10782

V-57-22  
JOSE G. FLORES  
5613 35<sup>TH</sup> PLACE  
HYATTSVILLE MD 20782

V-57-22  
MARY E. BERRY LIVING TRUST  
3507 LANCER DRIVE  
HYATTSVILLE MD 20782

V-57-22  
DIMAS RODRIGUEZ ETAL  
3512 LANCER DRIVE  
HYATTSVILLE MD 20782

V-57-22  
ROBERT MENEGHINI LIVING TRUST  
3521 LONGFELLOW STREET  
HYATTSVILLE MD 20782

V-57-22  
KENNETH HARRISON  
DPIE/INSPECTIONS DIVISION  
9200 BASIL COURT # 307  
LARGO

EXH. # **10**  
**V-57-22**